

MANCHESTER RECREATION CENTER PHASE 1A RENOVATIONS

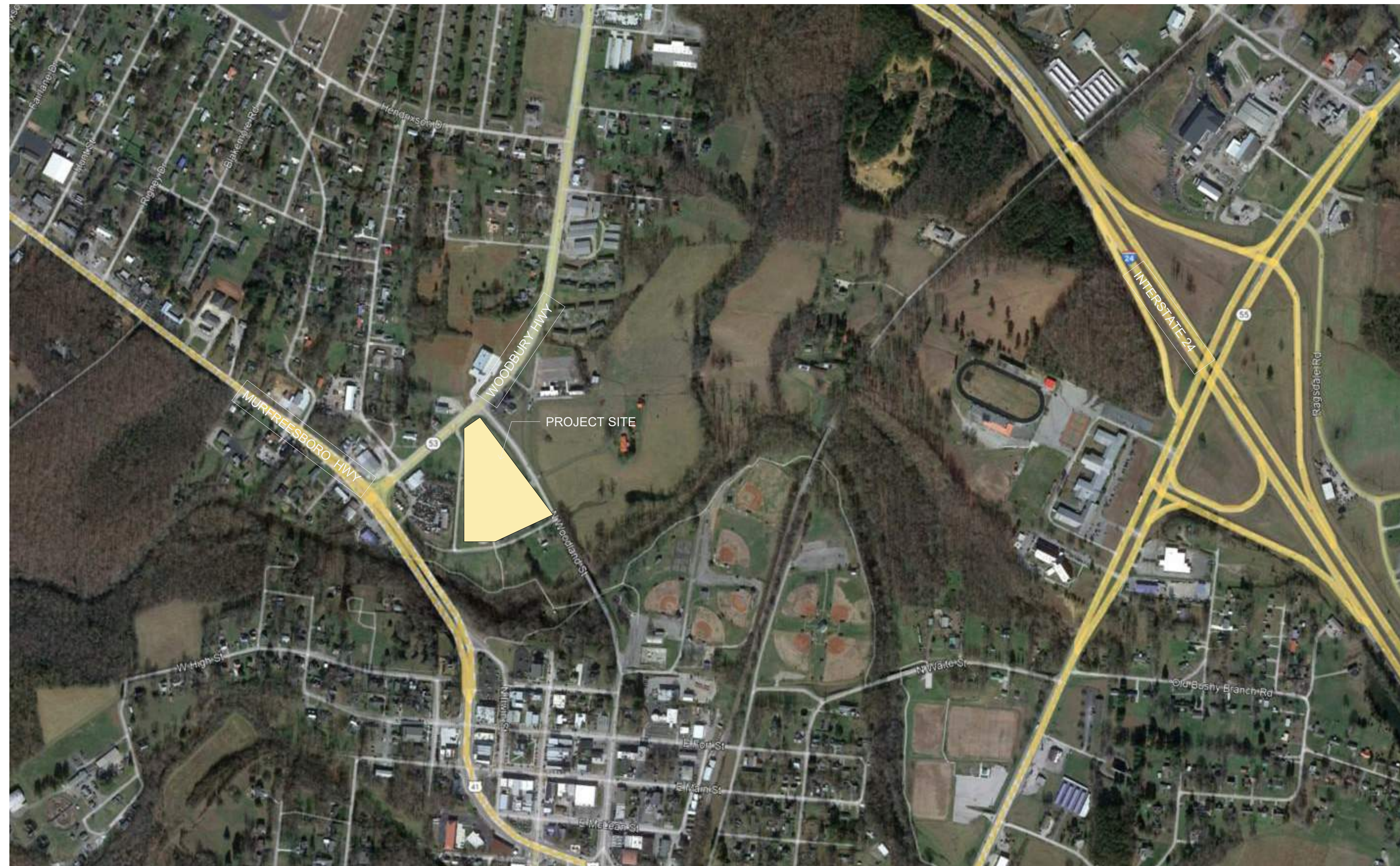
CITY OF MANCHESTER
MANCHESTER, TN
FEBRUARY 13, 2025

MANCHESTER RECREATION CENTER PHASE 1A RENOVATIONS
557 N WOODLAND ST
MANCHESTER, TN 37355

CITY OF MANCHESTER



WOLD ARCHITECTS AND ENGINEERS
214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
wolda.com | 615 370 8500



Vicinity Map
NOT TO SCALE

CODE ANALYSIS

APPLICABLE CODES

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 NATIONAL FIRE PROTECTION ASSOCIATION 101
- 2018 NATIONAL ELECTRIC CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE

EXISTING BUILDING CONSTRUCTED IN 2002 UNDER THE 1999 SBC

CONSTRUCTION TYPE: IIB

EXISTING AREA: 56,000 GSF
EXISTING HEIGHT: 42 FT

OCCUPANCY TYPE: ASSEMBLY A-3

SCOPE OF WORK:

- EXISTING OCCUPANCY - UNCHANGED
- EXISTING AREA/HEIGHT - NO CHANGES
- WORK CONSISTS OF MAINTENANCE TO REPLACE POOL FILTERS, REPAIR TILE AND REPLASTER OUTDOOR POOL, LIGHTING UPGRADES AT OUTDOOR POOL, AND REPLACEMENT OF STAIR TOWER AT OUTDOOR POOL.

ARCHITECTURAL

- A1.00 PHOTOS - STAIR TOWER
- A2.00 FLOOR PLAN & PHOTOS - AEROBICS

AQUATICS

- AQ0.00 POOL RENOVATION PLAN
- AQ0.01 POOL DEMOLITION PLAN
- AQ0.02 POOL EQUIPMENT ROOM DEMOLITION PLAN & PHOTOS
- AQ0.03 POOL DEMOLITION PHOTOS
- AQ1.00 POOL PLAN
- AQ1.01 POOL DETAILS
- AQ2.00 POOL EQUIPMENT ROOM PLAN

MECHANICAL

- M0.00 HVAC - GENERAL NOTES & LEGENDS
- M1.10A HVAC - FIRST FLOOR PLAN - PART A

ELECTRICAL

- E0.01 ELECTRICAL - SITE PLAN

Description	Revisions		Num
	Date		

Comm: 247085
Date: 02-13-2025
Drawn: NS
Check: JR
North

COVER SHEET



WOLD ARCHITECTS AND ENGINEERS
214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
woldae.com | 615 370 8500



B1 SLIDES AND STAIRS
1/4" = 1'-0"

EXISTING STEEL STRUCTURE TO REMAIN. PREP AND RE-FINISH WITH HIGH PERFORMANCE COATING COORDINATE PREP REQUIREMENTS WITH SECTION 099600

EXISTING STEEL STRUCTURE TO REMAIN. PREP AND RE-FINISH WITH HIGH PERFORMANCE COATING COORDINATE PREP REQUIREMENTS WITH SECTION 099600

PROTECT EXISTING CONCRETE FROM DAMAGE AND STAINS



B4 STAIR SIDE ELEVATION
1/4" = 1'-0"

REMOVE STAIRS AND PLATFORMS, REPLACE STAIRS, RAILINGS, AND PLATFORMS WITH NEW GALVANIZED COMPONENTS.

REMOVE ALL EXISTING COATINGS ON PIPING DOWN TO EXISTING SUBSTRATE. PREP EXISTING SUBSTRATE FOR NEW HIGH PERFORMANCE COATING.

PROTECT SLIDES DURING CONSTRUCTION

REMOVE ALL EXISTING COATINGS ON PIPING DOWN TO EXISTING SUBSTRATE. PREP EXISTING SUBSTRATE FOR NEW HIGH PERFORMANCE COATING.



B6 STAIR STRUCTURE
1/4" = 1'-0"



D1 STAIR FRONT ELEVATION
1/4" = 1'-0"

PROVIDE SHORING AS REQUIRED TO SUPPORT SLIDES AND PIPING UNTIL NEW STAIRS AND PLATFORM ARE IN PLACE

REMOVE ALL EXISTING COATINGS ON PIPING DOWN TO EXISTING SUBSTRATE. PREP EXISTING SUBSTRATE FOR NEW HIGH PERFORMANCE COATING.

PROTECT EXISTING SLIDE FINISHES FROM DAMAGE DURING CONSTRUCTION

RE-FINISH EXISTING STEEL STRUCTURE W/ HIGH PERFORMANCE COATING COORDINATE PREP REQUIREMENTS WITH SECTION 099600



D4 STAIR CONNECTION TO FOUNDATION
3/8" = 1'-0"

REMOVE ALL EXISTING COATINGS ON PIPING DOWN TO EXISTING SUBSTRATE. PREP EXISTING SUBSTRATE FOR NEW HIGH PERFORMANCE COATING.

REMOVE EXISTING STAIRS, INCLUDING STRINGERS, TREADS, RISERS, RAILINGS, AND PLATFORMS. REPLACE WITH NEW GALVANIZED STAIRS, RAILINGS, AND PLATFORMS.

PROVIDE STAIRS AND PLATFORMS WITH CONCRETE FILLED TREADS

EXISTING STEEL STRUCTURE TO REMAIN. PREP AND RE-FINISH WITH HIGH PERFORMANCE COATING COORDINATE PREP REQUIREMENTS WITH SECTION 099600



D6 STAIR STRUCTURE
1/4" = 1'-0"

GENERAL NOTES

1. ANY REQUIRED MECHANICAL WORK TO BE PROVIDED BY TENNESSEE LICENSED MECHANICAL CONTRACTOR
2. ANY REQUIRED PLUMBING WORK TO BE PROVIDED BY TENNESSEE LICENSED PLUMBING CONTRACTOR
3. ANY REQUIRED ELECTRICAL WORK TO BE PROVIDED BY TENNESSEE LICENSED ELECTRICAL CONTRACTOR
4. NOTES ON PHOTOGRAPHS ARE TYPICAL AND APPLY TO ENTIRE STAIR TOWER AND COMPONENTS CONTRACTORS BIDDING THE PROJECT ARE RESPONSIBLE FOR A SITE VISIT TO DETERMINE FULL EXTENT OF WORK.



F4 GUARDRAIL AND CONTROLS
3/8" = 1'-0"

REMOVE CONTROLS DURING CONSTRUCTION. RE-INSTALL WHEN NEW PLATFORM AND RAILING IS IN PLACE. PAINT CONDUIT AND BOX TO MATCH RAILING.



F6 STAIR TREAD
3/8" = 1'-0"

RISE/RUN OF NEW STAIRS TO ELIMINATE NON-COMPLIANT STEP OF CURRENT CONDITIONS



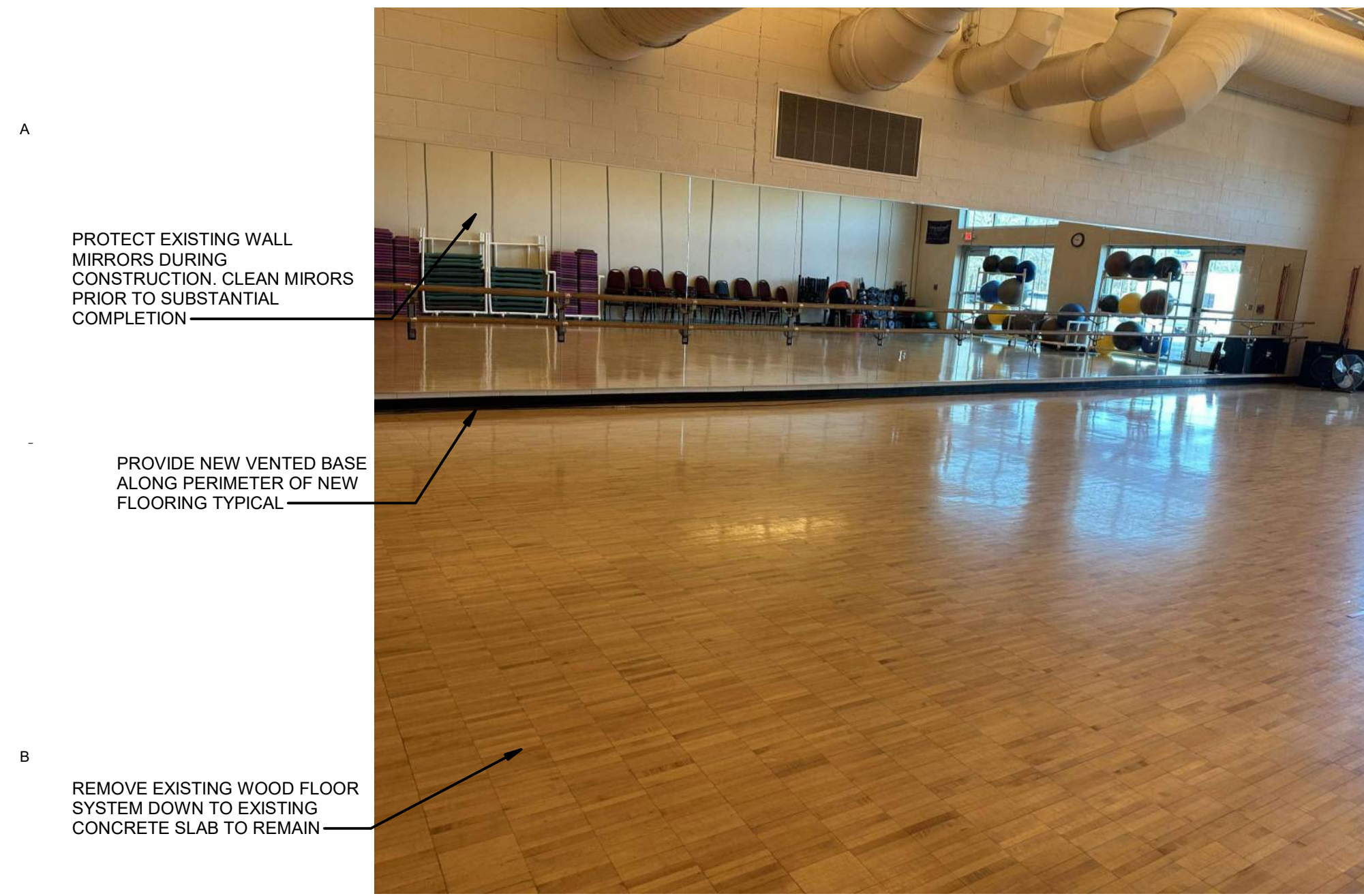
Description	Revisions		Num
	Date		

Comm: 247085
Date: 02-13-2025
Drawn: NS
Check: JR

PHOTOS - STAIR TOWER



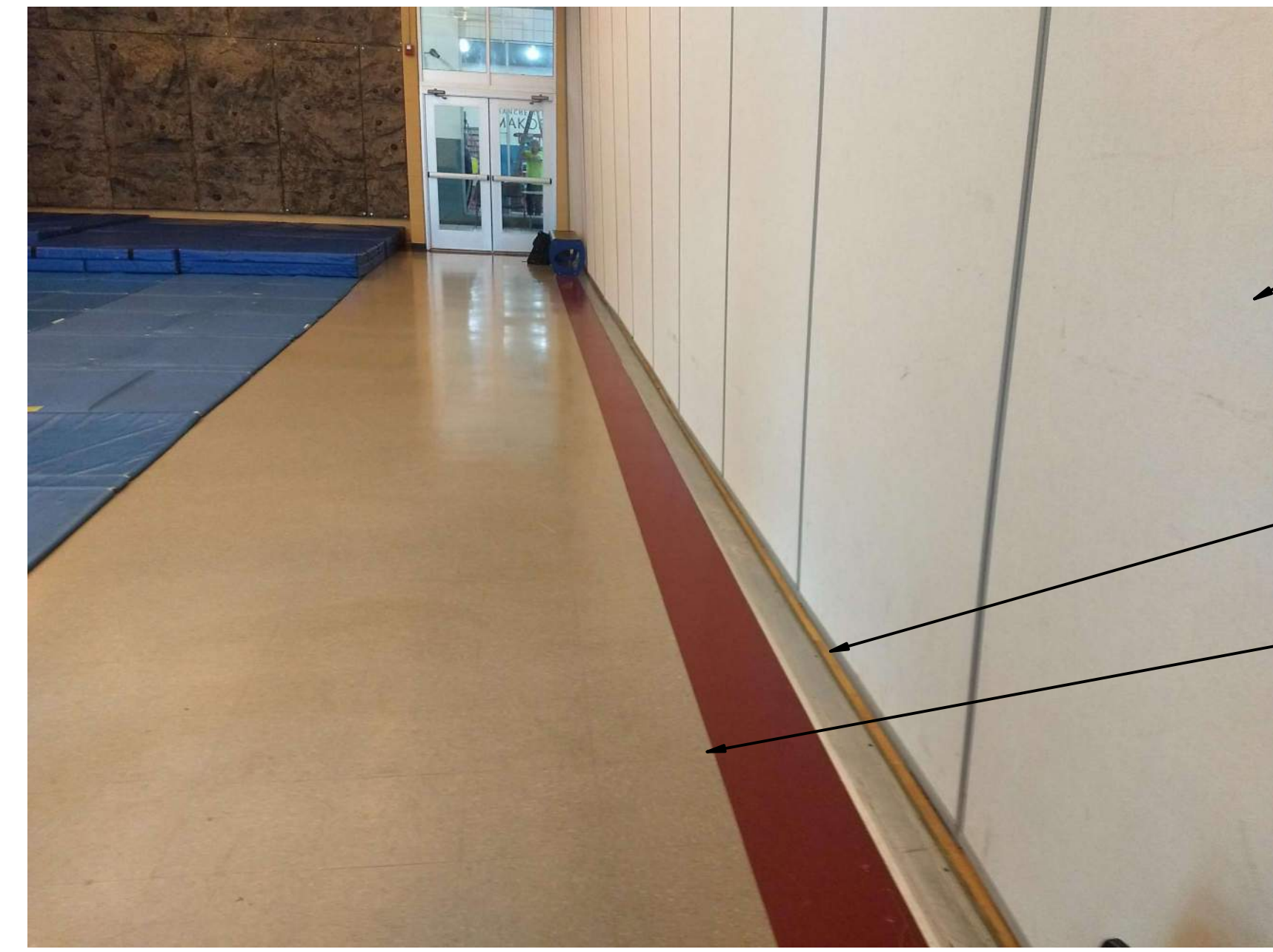
WOLD ARCHITECTS AND ENGINEERS
214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
woldae.com | 615 370 8500



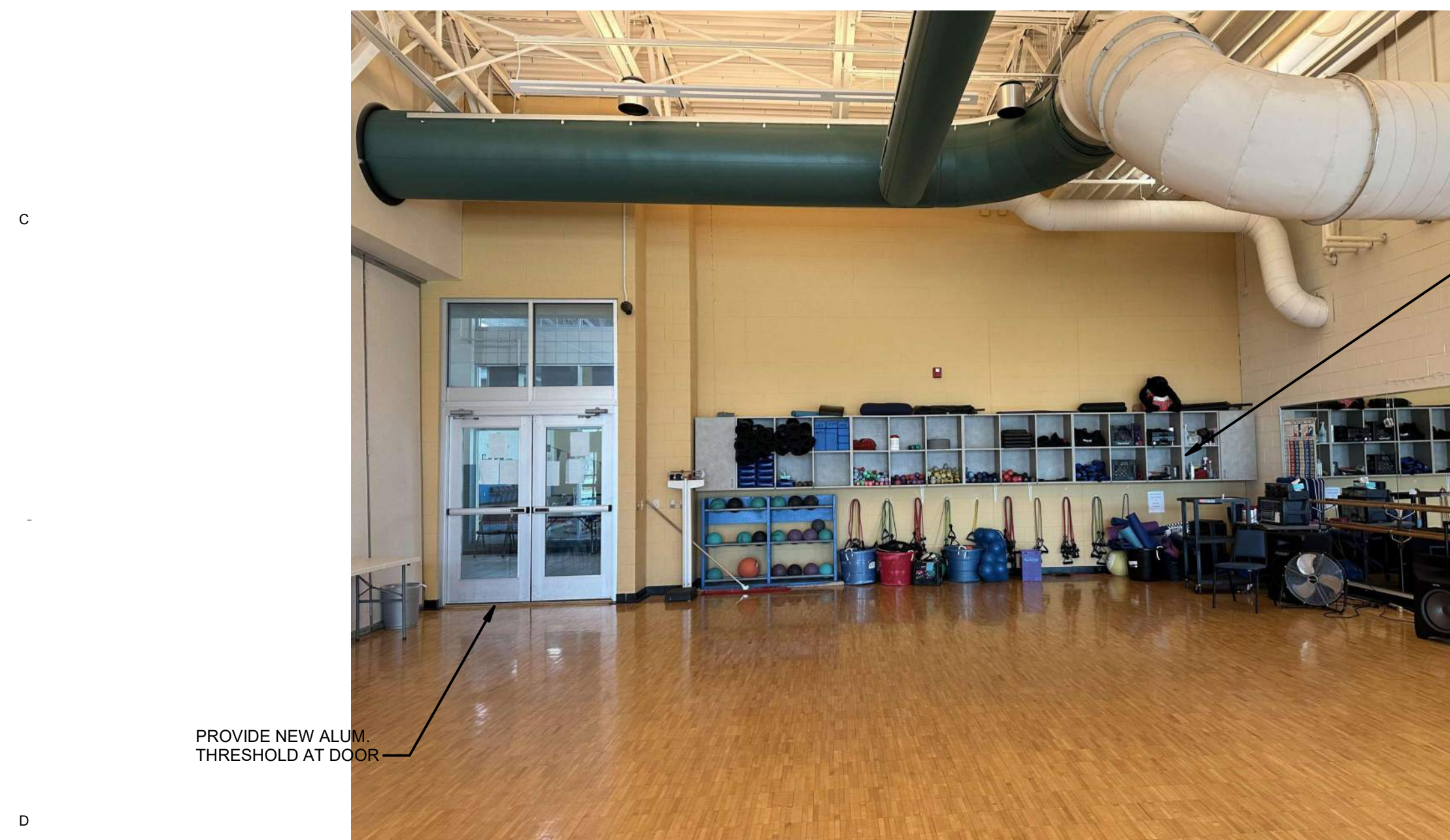
B1 MIRROR WALL
1/4" = 1'-0"
0 3 6



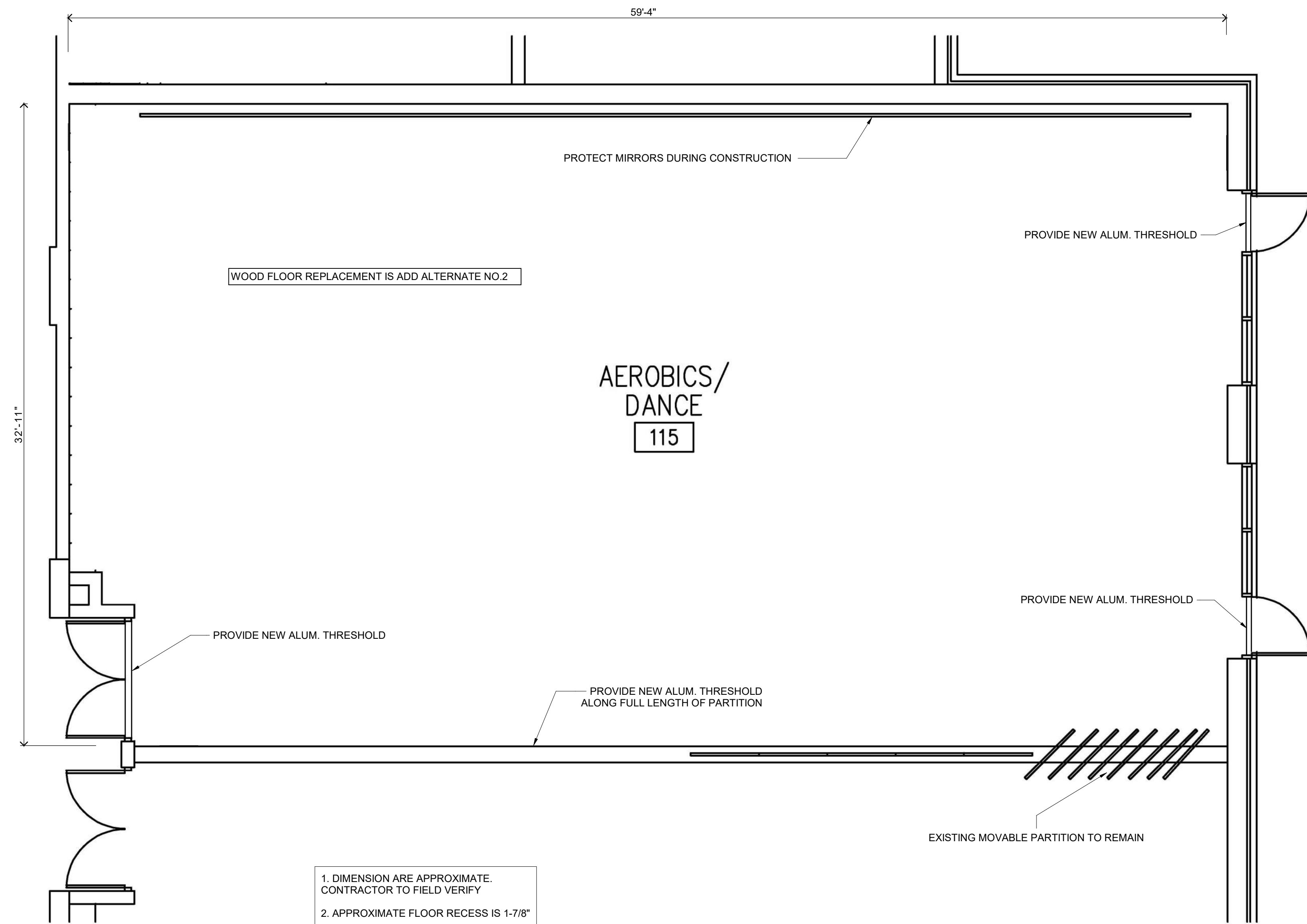
B3 EXTERIOR WALL
1/4" = 1'-0"
0 3 6



B6 MOVABLE WALL
1/4" = 1'-0"
0 3 6



D1 WALL MOUNTED FURNISHINGS
1/4" = 1'-0"
0 3 6



F4 FLOOR PLAN
1/4" = 1'-0"
0 3 6



Description	Revisions		Num
	Date	By	

Comm: 247085
Date: 02-13-2025
Drawn: NS
Check: JR

FLOOR PLAN & PHOTOS - AEROBICS



WOLD ARCHITECTS AND ENGINEERS

214 Centerville Drive Suite 300
Brentwood, Tennessee 37027
woldae.com | 615 370 8500



COUNSILMAN-HUNSAKER
AQUATICS FOR LIFE
ph: 314.594.1245 • www.chh20.com

DESIGN DATA		
	UNITS	LEISURE
LENGTH	FT.	VARIES
WIDTH	FT.	VARIES
WATER SURFACE AREA	SQ. FT.	8,328
PERIMETER	FT.	627.5
VOLUME	GALLONS	146,102
RECIRCULATION SYSTEM		
POOL TURNOVER RATE	HOURS	2.0
RECIRCULATION RATE	GPM	1,218
SURGE CAPACITY	GALLONS	8,497
SEWER CAPACITY	GPM	550
BATHER LOAD	PERSONS	566

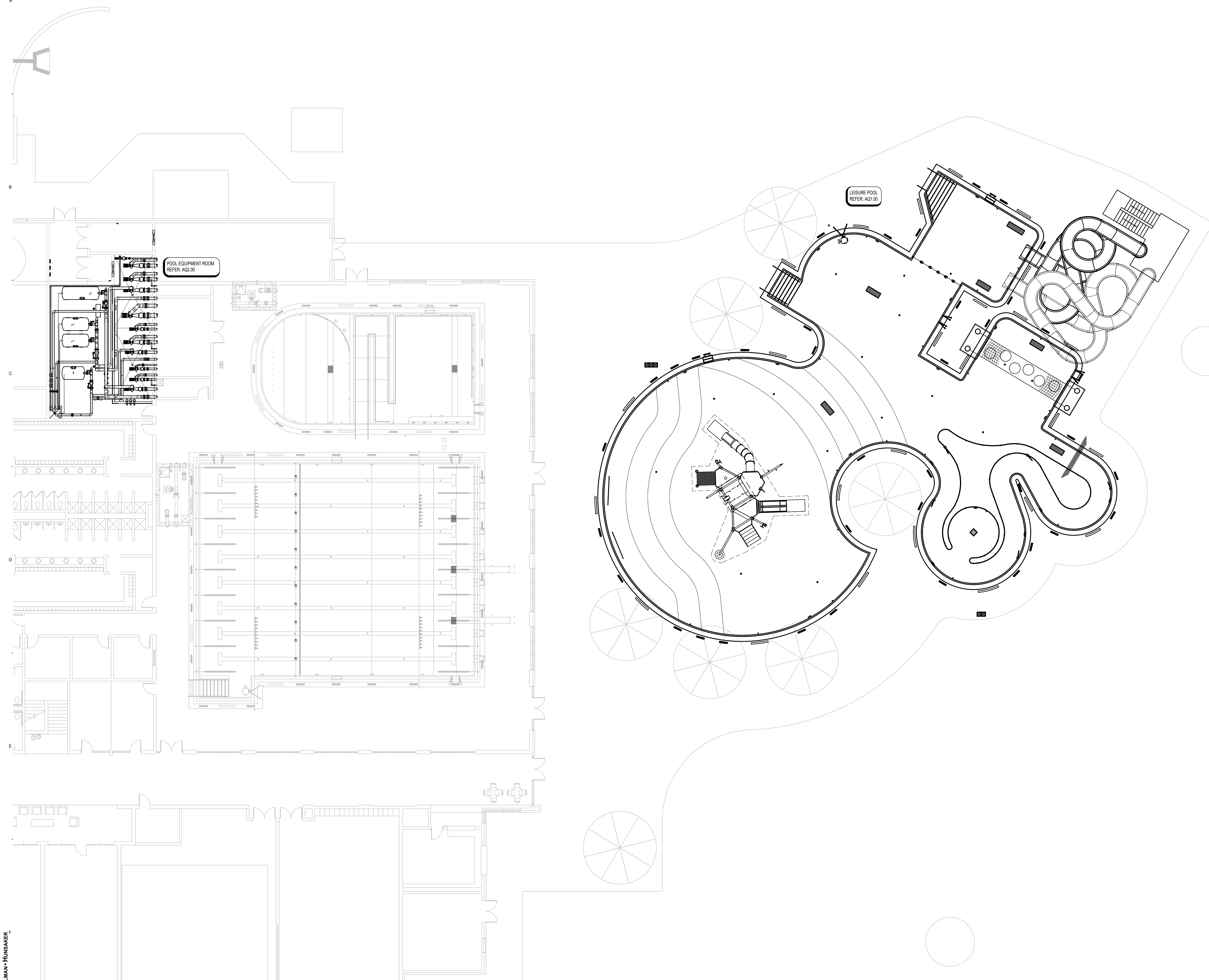
- GENERAL POOL DEMOLITION & RENOVATION NOTES**
- COORDINATE ALL DEMOLITION PLANS AND WORK WITH PROJECT MANAGER AND CONSTRUCTION DOCUMENTS PRIOR TO THE START OF DEMOLITION.
 - REVIEW RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY THE OWNER. NEITHER THE OWNER NOR ENGINEER MAKES ANY GUARANTEE THAT THE EXISTING CONDITIONS REFLECT THOSE INDICATED IN THE RECORD DOCUMENTS. CONTRACTOR TO PROVIDE NOTIFICATION OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH DEMOLITION.
 - CONTRACTOR TO SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED IN THE CONTRACT DOCUMENTS TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED. CONTRACTOR TO RECORD EXISTING CONDITIONS WITH DETAILED PRE-CONSTRUCTION PHOTOGRAPHS.
 - UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF THE CONTRACTOR.
 - EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE RECYCLED, REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM. OWNER HAS THE FIRST RIGHT OF REFUSAL ON ALL DEMOLITION MATERIALS.
 - IF HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY THE OWNER AND ENGINEER. PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. REFER TO OTHER TRADES FOR COORDINATION.
 - ALL EXISTING PIPING SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO PIPING SCHEMATICS FOR SPECIFIC PIPING RUNS TO BE REPLACED/RELOCATED AS A PART OF RENOVATION.
 - CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS FOLLOWING DEMOLITION OPERATIONS. CONTRACTOR TO RETURN TO ADJACENT AREAS TO CONDITION EXISTING BEFORE THE START OF DEMOLITION OPERATIONS.

DRAWING INDEX

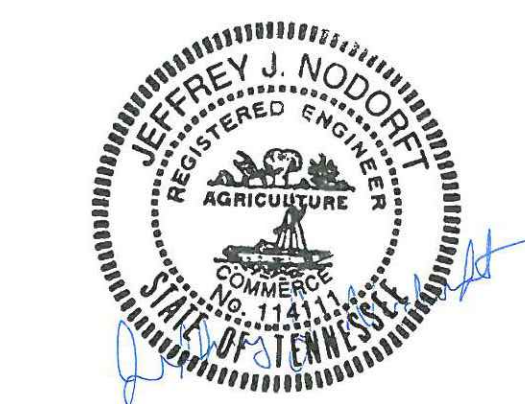
SHEET	DESCRIPTION
AQ0.00	POOL RENOVATION PLAN
AQ0.01	POOL DEMOLITION PLAN
AQ0.02	POOL EQUIPMENT ROOM DEMOLITION PLAN & PHOTOS
AQ0.03	POOL DEMOLITION PHOTOS
AQ1.00	POOL PLAN
AQ1.01	POOL DETAILS
AQ2.00	POOL EQUIPMENT ROOM PLAN

POOL ALTERNATE

ALTERNATE #1: REMOVE AND REPLACE POOL GUTTER GRATING AROUND THE ENTIRE PERIMETER OF THE POOL.



1
AQ0.00 POOL RENOVATION PLAN
1/8" = 1'-0" N



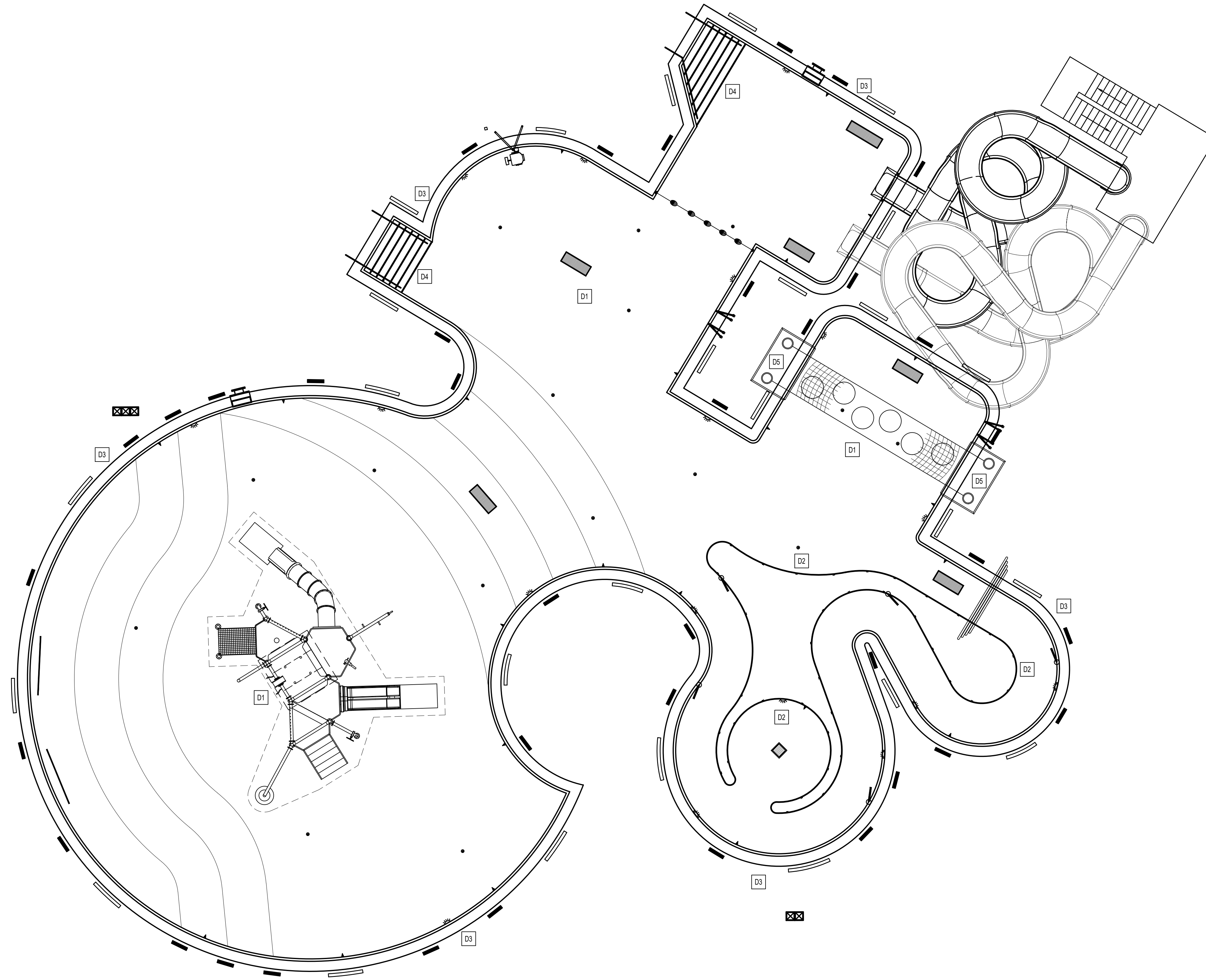
Description	Revisions		Num
	Date	By	

Comm: 247085
Date: 2/13/2025
Drawn: NCA
Check: JJN North

POOL RENOVATION PLAN

A
B
C
D
E

A



POOL DEMOLITION KEYNOTES	
COORDINATE ALL DEMOLITION PLANS WITH ARCHITECT AND CONSTRUCTION DOCUMENTS PRIOR TO DEMOLITION	
D1	REMOVE AND REMOVE ALL PLASTER THAT IS NOT SECURELY ADHERED TO THE CONCRETE POOL SHELL. REMOVE ALL PLASTER 3' BACK FROM ALL POOL TILE INCLUDING THE VERTICAL TILE BAND, NOSING TILE ON STAIRS, AND TILE AT CONSTRUCTION JOINTS. REFER: 1A00.03 & 2H00.03
D2	REMOVE ALL VERTICAL WATERLINE TILE, GROUT, AND MORTAR BED BENEATH THE COPING ON THE ISLAND WITHIN THE LEISURE POOL. REFER: 3A00.03
D3	REMOVE ALL VERTICAL WATERLINE TILE, HANDHOLD TILE, AND TILE IN FRONT OF THE GRATING INCLUDING GROUT AND MORTAR BED AROUND THE ENTIRE PERIMETER OF THE LEISURE POOL. REFER: 4A00.03
D4	REMOVE ALL STAIR NOSING AND CONSTRUCTION JOINT TILE INCLUDING GROUT AND MORTAR BED FROM THE LEISURE POOL. REFER: 1A00.03 & 2H00.03
D5	REMOVE BOTH SAFETY ROPE PADS AT THE WATER WALK. REFER: 5A00.03

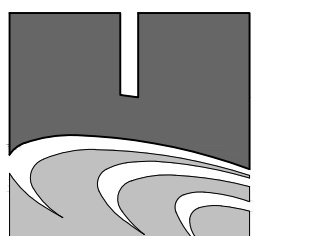
MANCHESTER RECREATION CENTER PHASE 1A RENOVATIONS

557 N WOODLAND ST
MANCHESTER, TN 37355

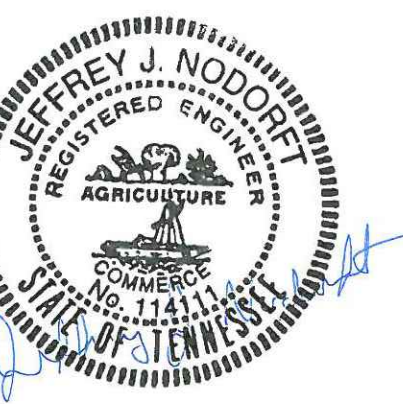
CITY OF MANCHESTER



WOLD ARCHITECTS AND ENGINEERS
214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
wolda.com | 615 370 8500



COUNSLMAN-HUNSAKER
AQUATICS FOR LIFE
ph: 314.934.1245 • www.chh2b.com



Description	Revisions		▲
	Date	Num	

Comm: 247085
Date: 2/13/2025
Drawn: NCL
Check: JJN
North

POOL DEMOLITION PLAN

Scale:
AQ0.01

1 POOL DEMOLITION PLAN
AQ0.01 1/8" = 1'-0"



2 EXISTING POOL FILTERS
AQ0.02 NTS



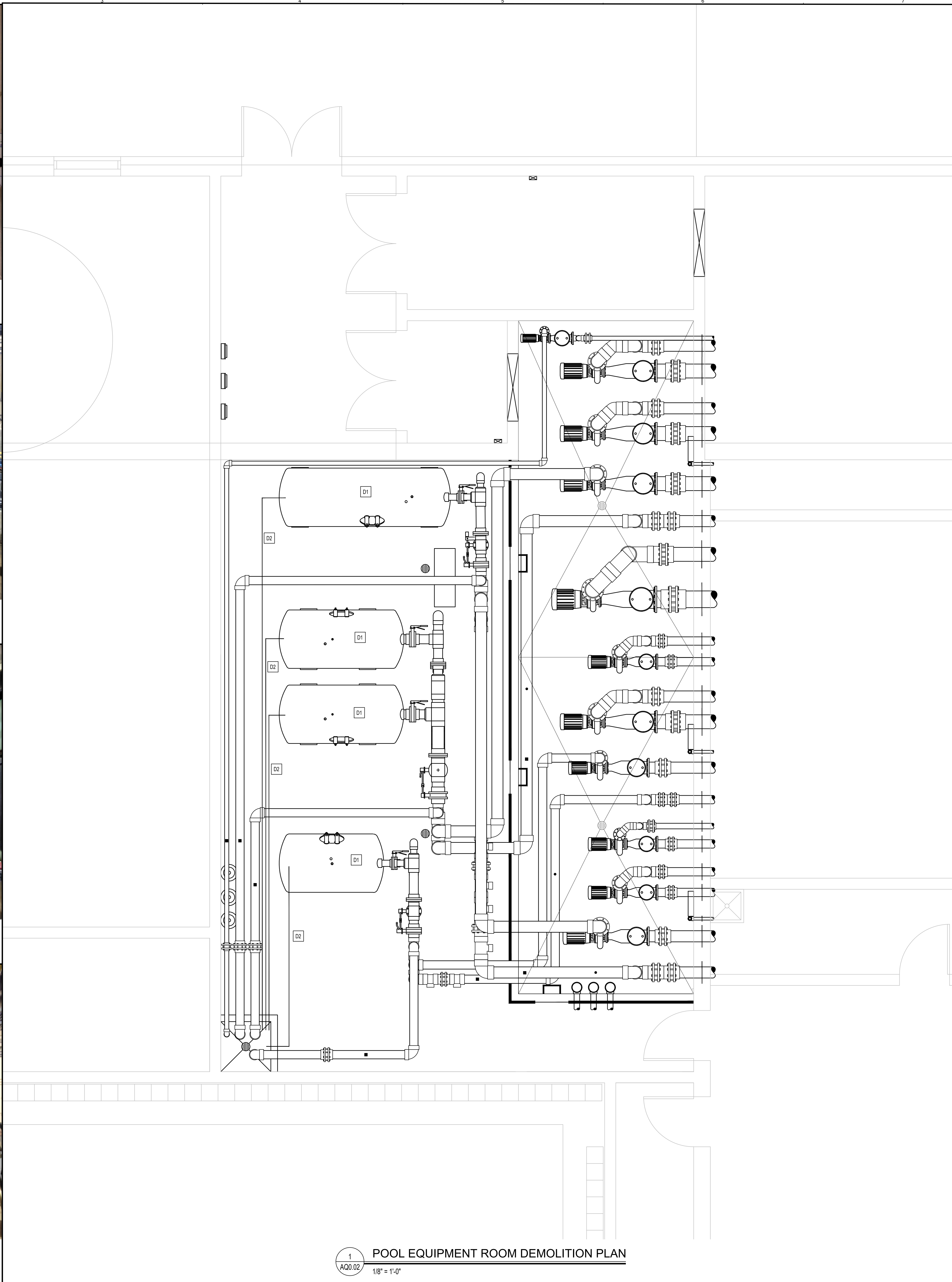
3 EXISTING POOL FILTER FACE PIPING
AQ0.02 NTS



4 THERAPY POOL FILTERS
AQ0.02 NTS



5 LEISURE POOL FILTERS
AQ0.02 NTS



1 POOL EQUIPMENT ROOM DEMOLITION PLAN
AQ0.02 1/8" = 1'-0"

POOL EQUIPMENT DEMOLITION KEYNOTES

COORDINATE ALL DEMOLITION PLANS WITH ARCHITECT AND CONSTRUCTION DOCUMENTS PRIOR TO DEMOLITION

D1	CUT ALL PIPING CONNECTIONS TO EACH OF THE POOL FILTER SYSTEMS - LEISURE POOL, COMPETITION POOL, THERAPY POOL. CUT CONNECTIONS FOR INFLUENT POOL WATER, EFFLUENT POOL WATER, AND FILTER BACKWASH PIPING AND PREPARE FOR CONNECTION TO NEW FILTER SYSTEMS AND FILTER FACE PIPING. REMOVE EXISTING FILTERS FROM POOL EQUIPMENT ROOM. REFER: 2-5AQ0.02
D2	REMOVE ALL AUTOMATIC FILTER AIR RELEASE PIPING.

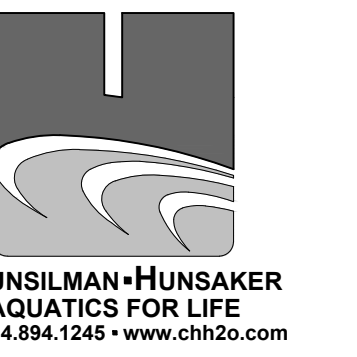
MANCHESTER RECREATION CENTER PHASE 1A RENOVATIONS

557 N WOODLAND ST
MANCHESTER, TN 37355

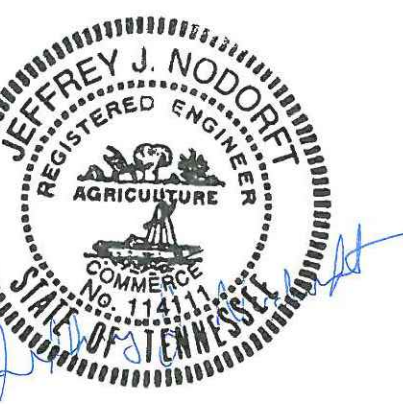
CITY OF MANCHESTER



WOLD ARCHITECTS AND ENGINEERS
214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
wolda.com | 615 370 8500



COUNSELMAN-HUNSAKER
AQUATICS FOR LIFE
ph: 314.594.1245 • www.chh2b.com



Description	Revisions		▲
	Date	Num	

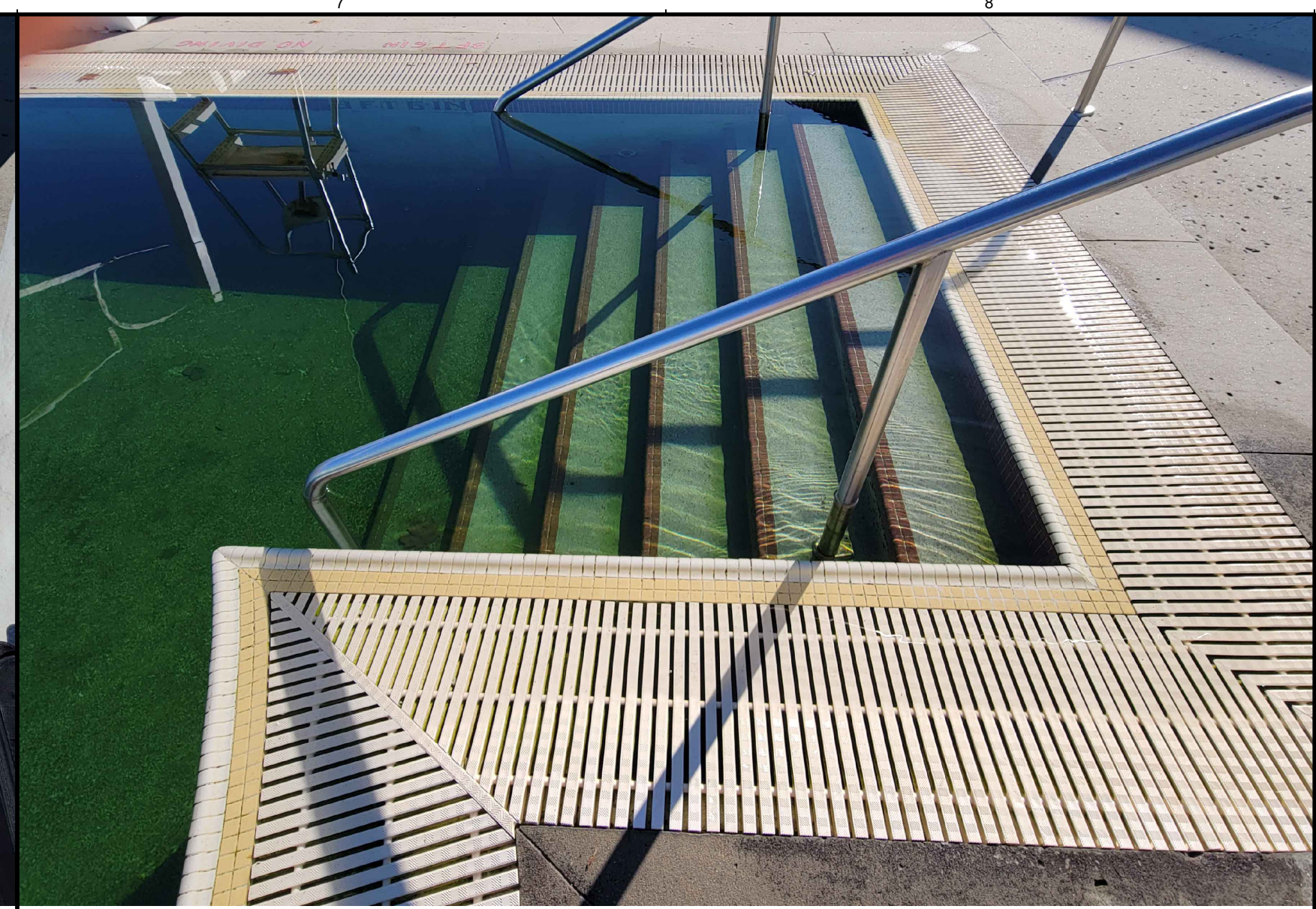
Comm: 247085
Date: 2/13/2025
Drawn: NCA
Check: JJN
North

POOL EQUIPMENT ROOM DEMOLITION PLAN & PHOTOS

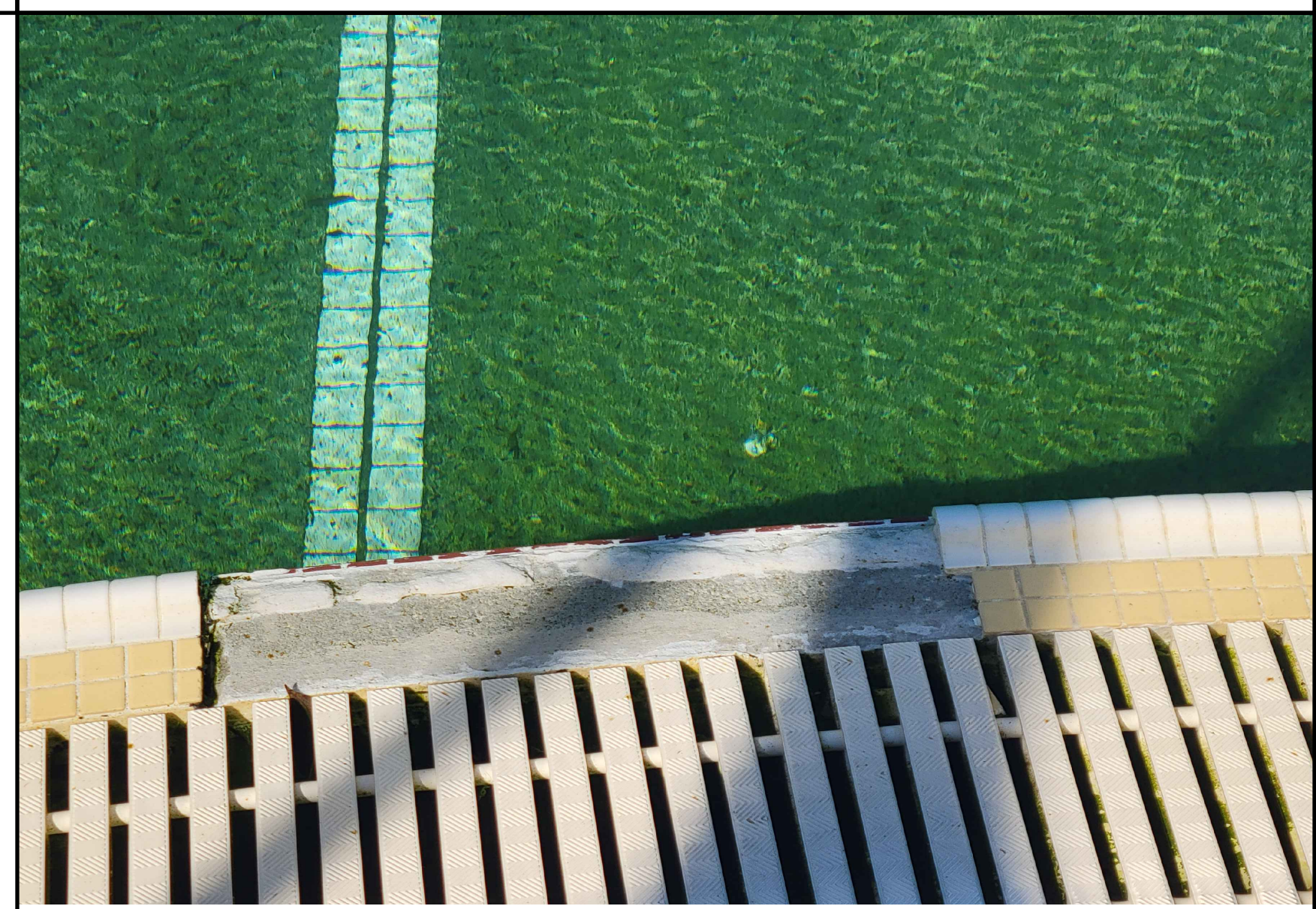
Scale:
AQ0.02



5 SAFETY PAD - WATERWALK
AQ0.03 NTS



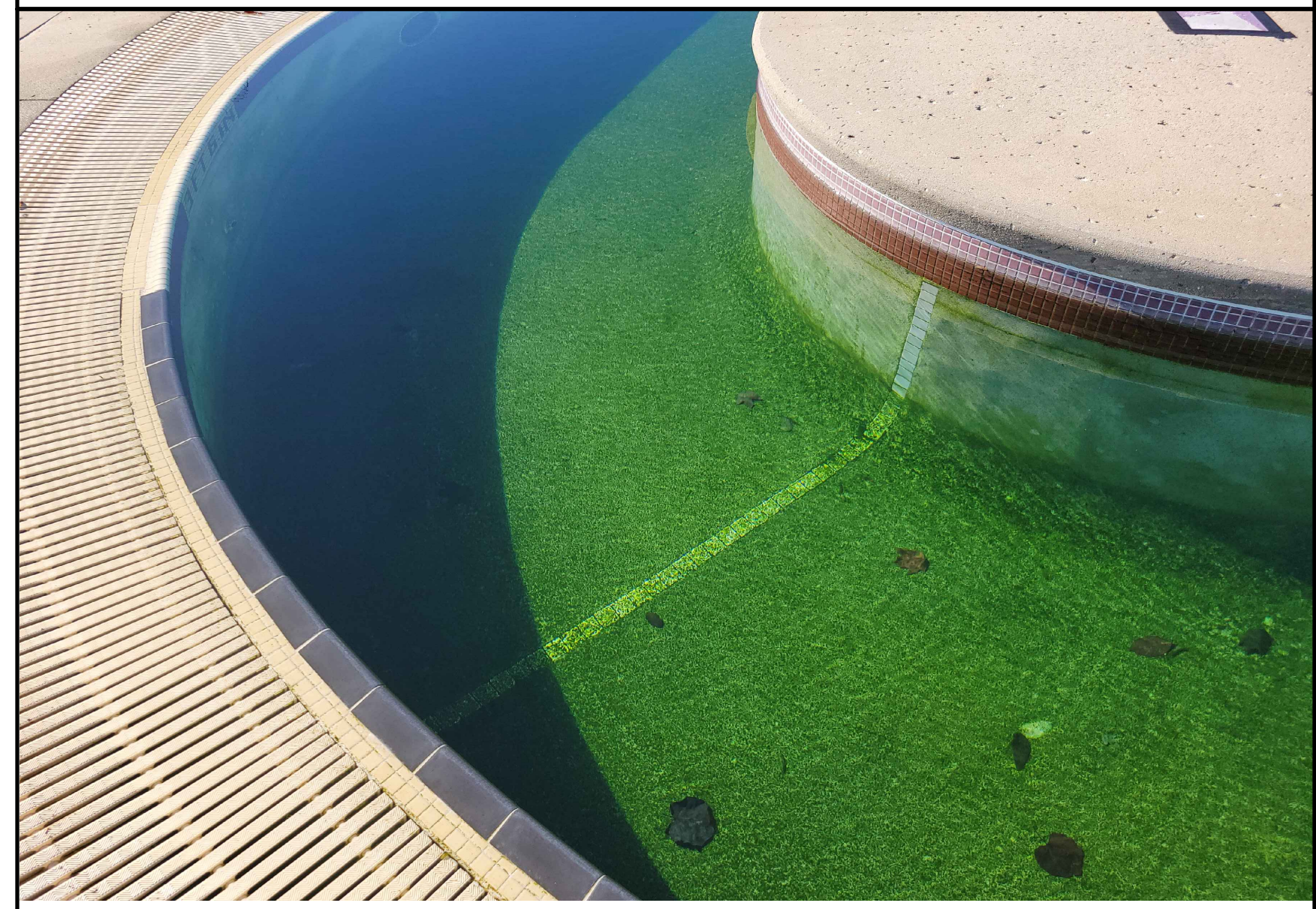
1 POOL STAIRS
AQ0.03 NTS



2 POOL EDGE AND CONSTRUCTION JOINT
AQ0.03 NTS



3 ISLAND WATERLINE TILE
AQ0.03 NTS



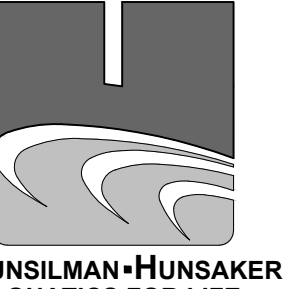
4 POOL PERIMETER HANDHOLD AND GUTTER
AQ0.03 NTS

MANCHESTER RECREATION CENTER PHASE 1A RENOVATIONS
557 N WOODLAND ST
MANCHESTER, TN 37355

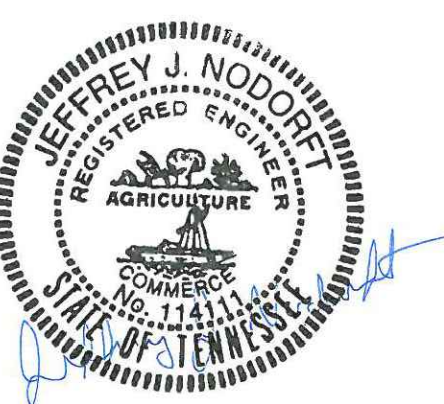
CITY OF MANCHESTER



WOLD ARCHITECTS AND ENGINEERS
214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
woldaec.com | 615 370 8500



COUNSELMAN-HUNSAKER
AQUATICS FOR LIFE
ph: 314.594.1245 • www.chh2b.com



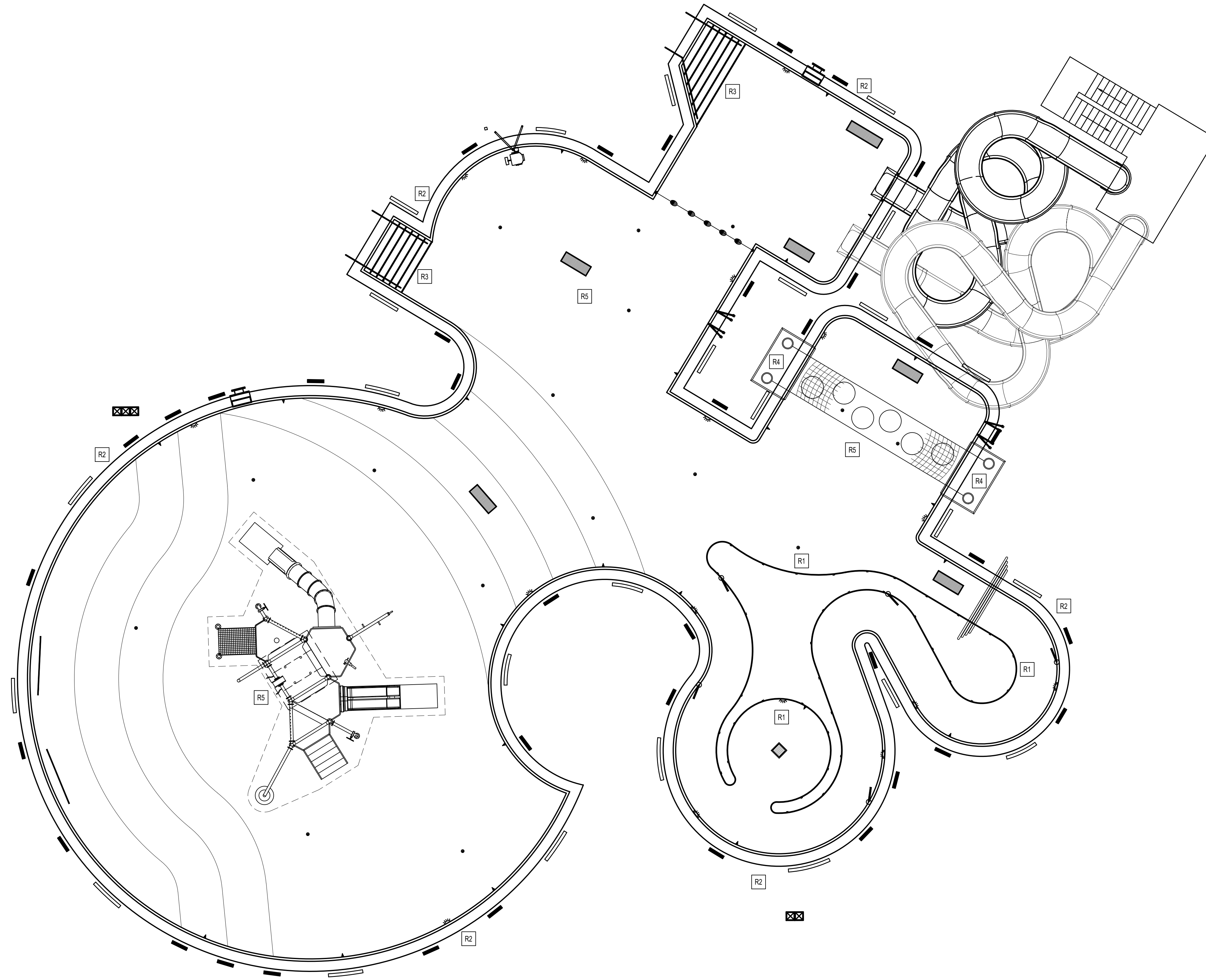
Description	Revisions		▲
	Date	Num	

Comm: 247085
Date: 2/13/2025
Drawn: NCL
Check: JJN

POOL DEMOLITION PHOTOS

Scale:
AQ0.03

A
B
C
D
E



POOL RENOVATION KEYNOTES	
COORDINATE ALL DEMOLITION PLANS WITH ARCHITECT AND CONSTRUCTION DOCUMENTS PRIOR TO DEMOLITION	
R1	PROVIDE A NEW MORTAR BED, WATERLINE TILE, AND GROUT BENEATH THE COPING ON THE LEISURE POOL ISLAND. REFER: 3/AQ1.01
R2	PROVIDE MORTAR BED, WATERLINE TILE, HANDHOLD TILE, AND HORIZONTAL TILE IN FRONT OF THE GUTTER GRATING AROUND THE ENTIRE PERIMETER OF THE LEISURE POOL. REFER: 1/AQ1.01
R3	PROVIDE MORTAR BED, NOSING TILE, CONSTRUCTION JOINT TILE, AND GROUT FOR STAIR NOSINGS AND CONSTRUCTION JOINTS
R4	PROVIDE NEW SAFETY PADS AT THE WATERWALK. REFER: 5/AQ1.01
R5	PROVIDE NEW PLASTER POOL FINISH THROUGHOUT THE ENTIRE BASIN OF THE LEISURE POOL.

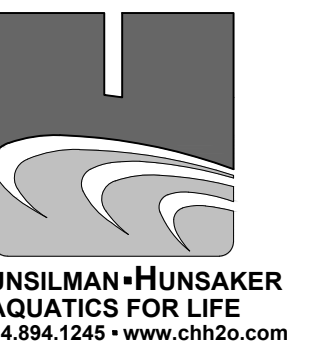
MANCHESTER RECREATION CENTER PHASE 1A RENOVATIONS

557 N WOODLAND ST
MANCHESTER, TN 37355

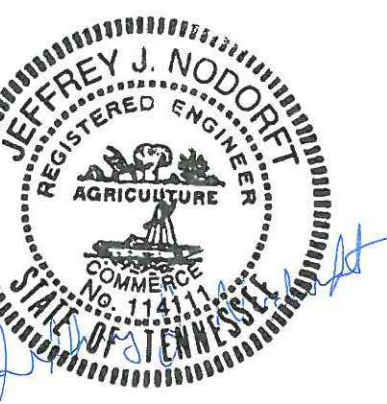
CITY OF MANCHESTER



WOLD ARCHITECTS AND ENGINEERS
214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
wolda.com | 615 370 8500



COUNSILMAN-HUNSAKER
AQUATICS FOR LIFE
ph: 314.594.1245 • www.chh2b.com



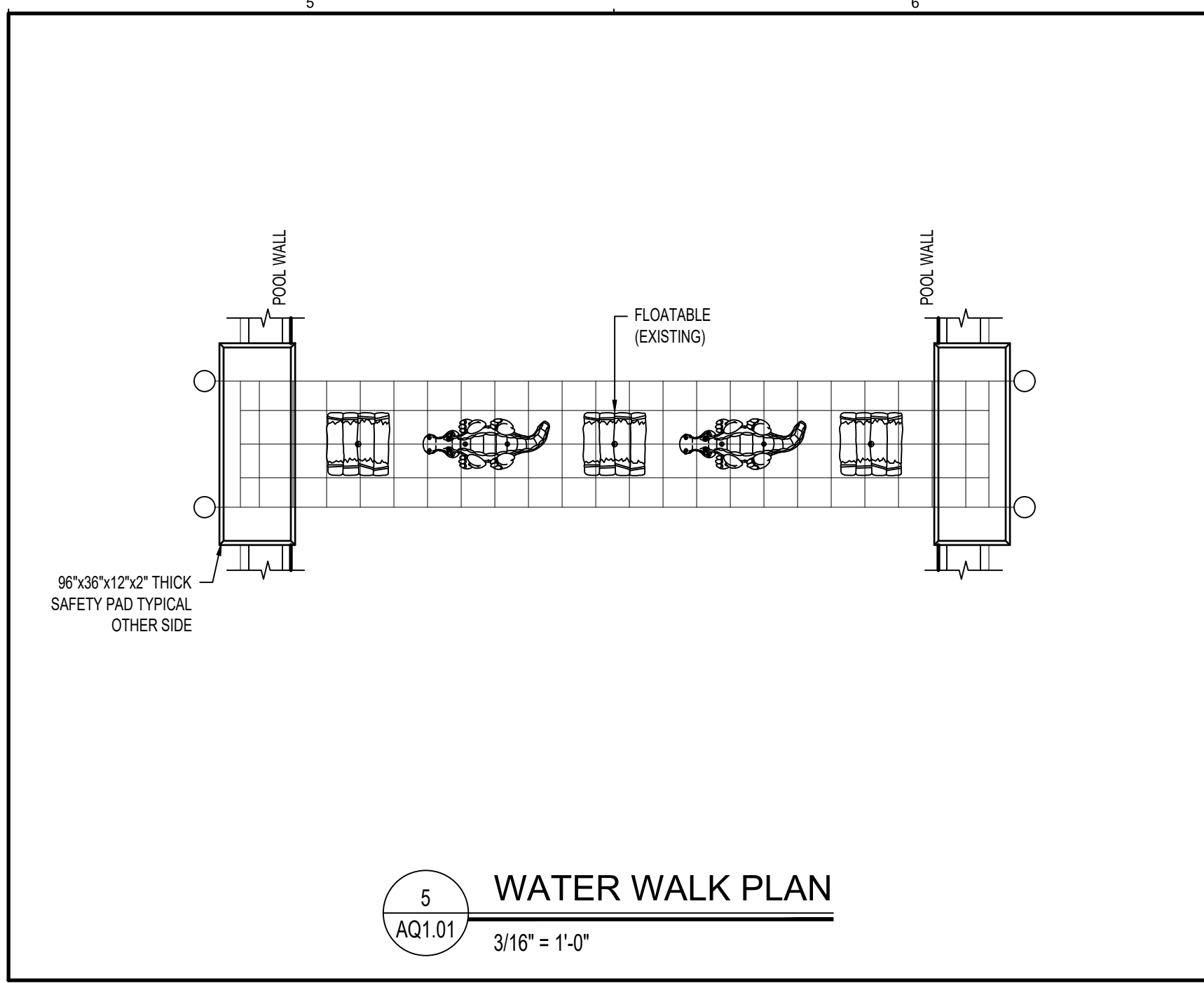
Description	Revisions		▲
	Date	Num	

Comm: 247085
Date: 2/13/2025
Drawn: NCL
Check: JJN North

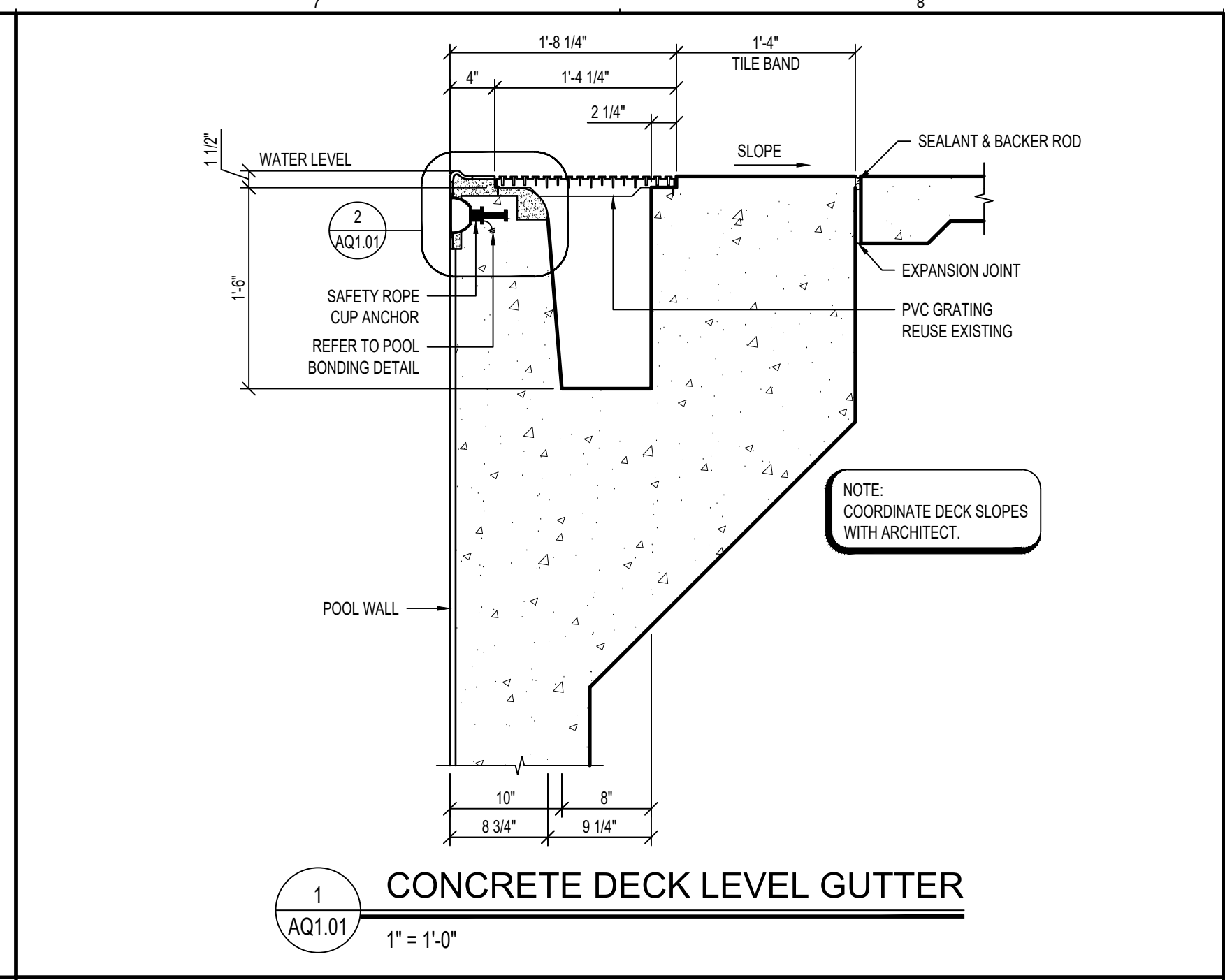
POOL PLAN

Scale:
AQ1.00

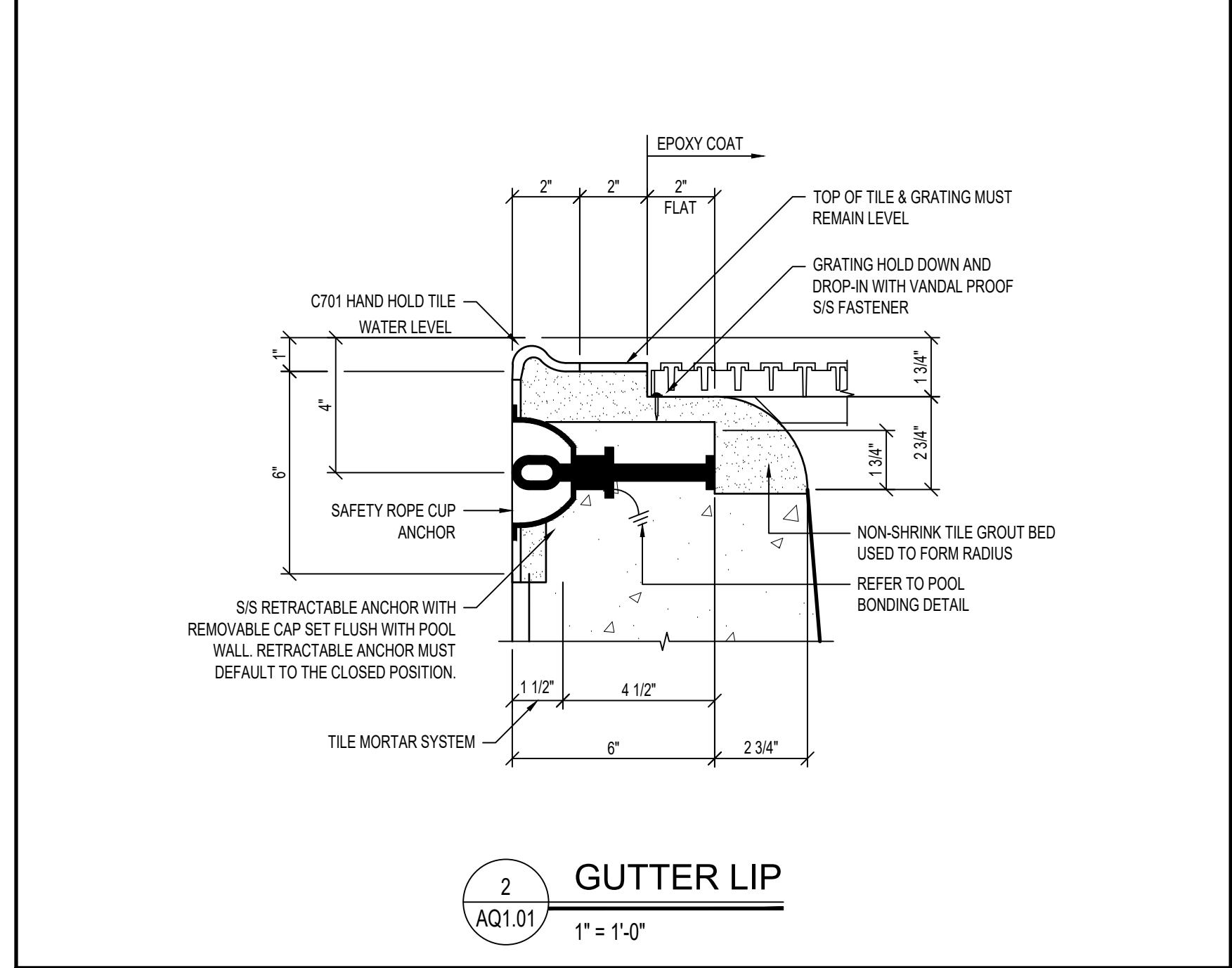
1 POOL PLAN
AQ1.00 1/8" = 1'-0"



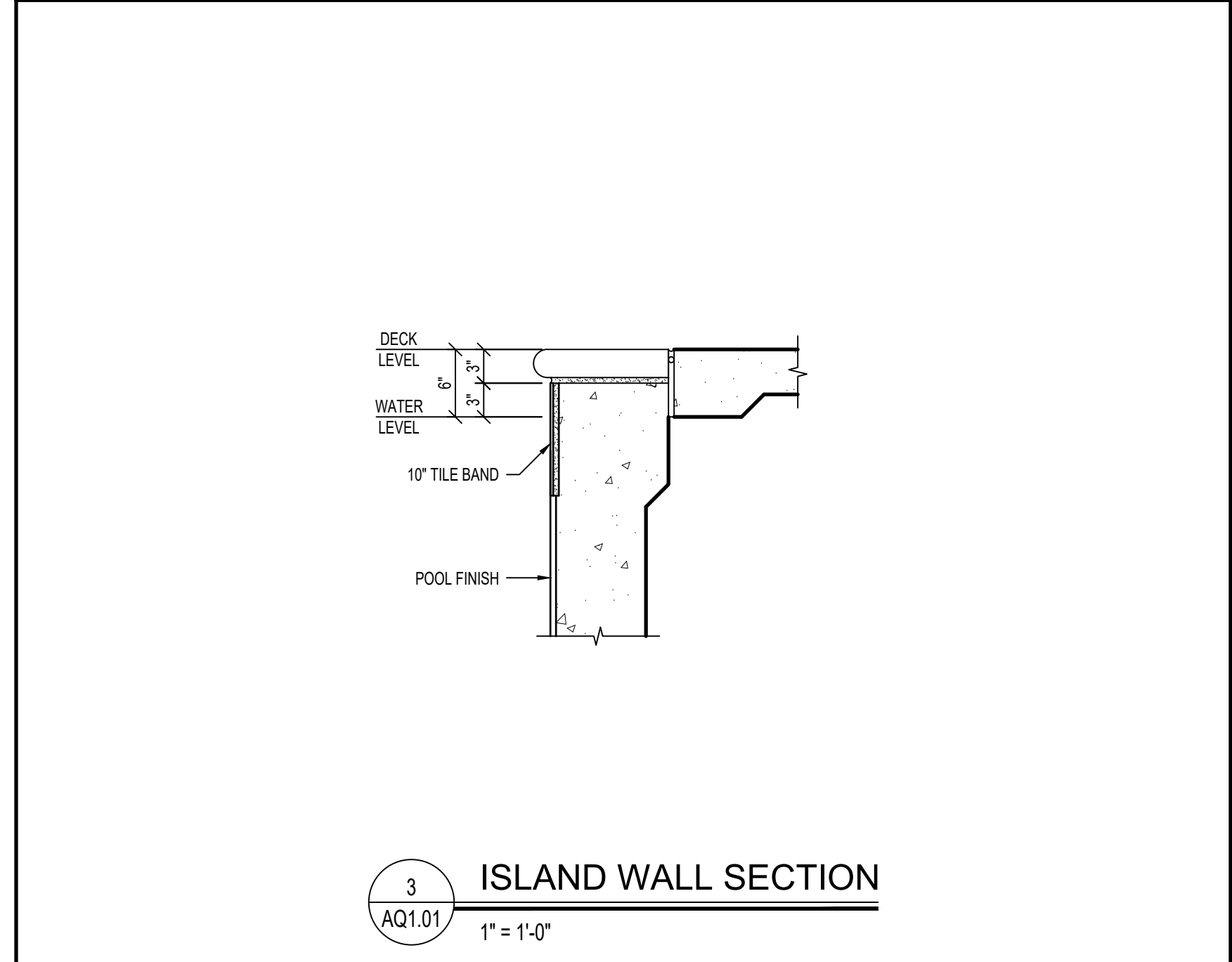
5 WATER WALK PLAN
AQ1.01 3/16" = 1'-0"



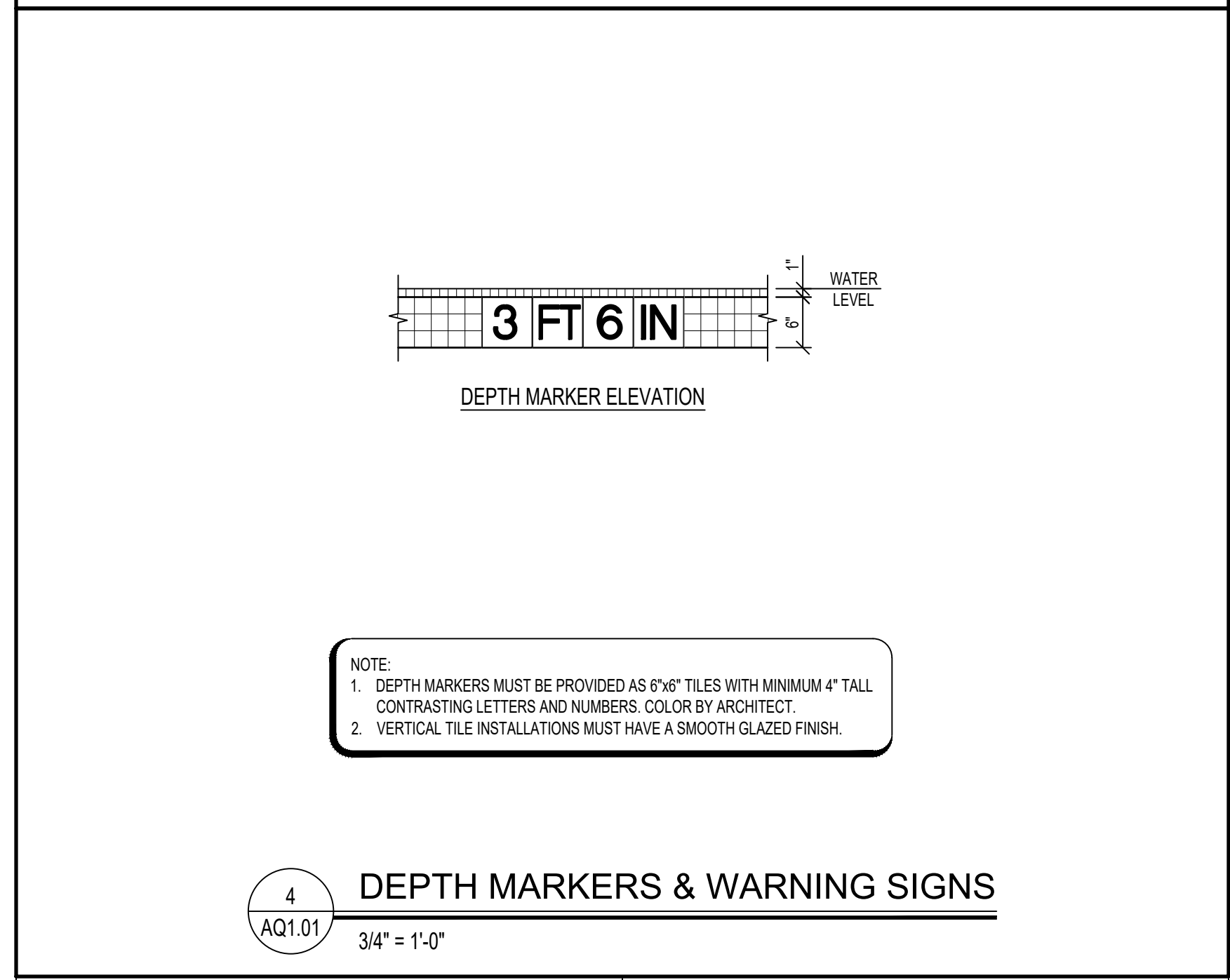
1 CONCRETE DECK LEVEL GUTTER
AQ1.01 1" = 1'-0"



2 GUTTER LIP
AQ1.01 1" = 1'-0"



3 ISLAND WALL SECTION
AQ1.01 1" = 1'-0"



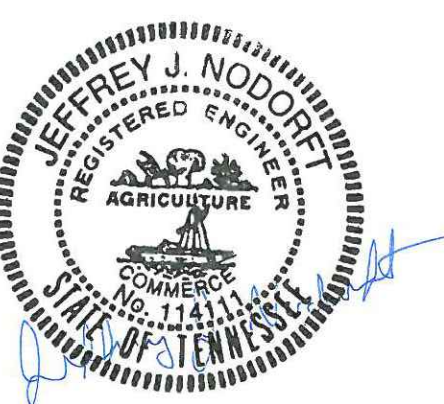
4 DEPTH MARKERS & WARNING SIGNS
AQ1.01 3/4" = 1'-0"



WOLD ARCHITECTS AND ENGINEERS
214 Centerville Drive Suite 300
Brentwood, Tennessee 37027
woldaec.com | 615 370 8500



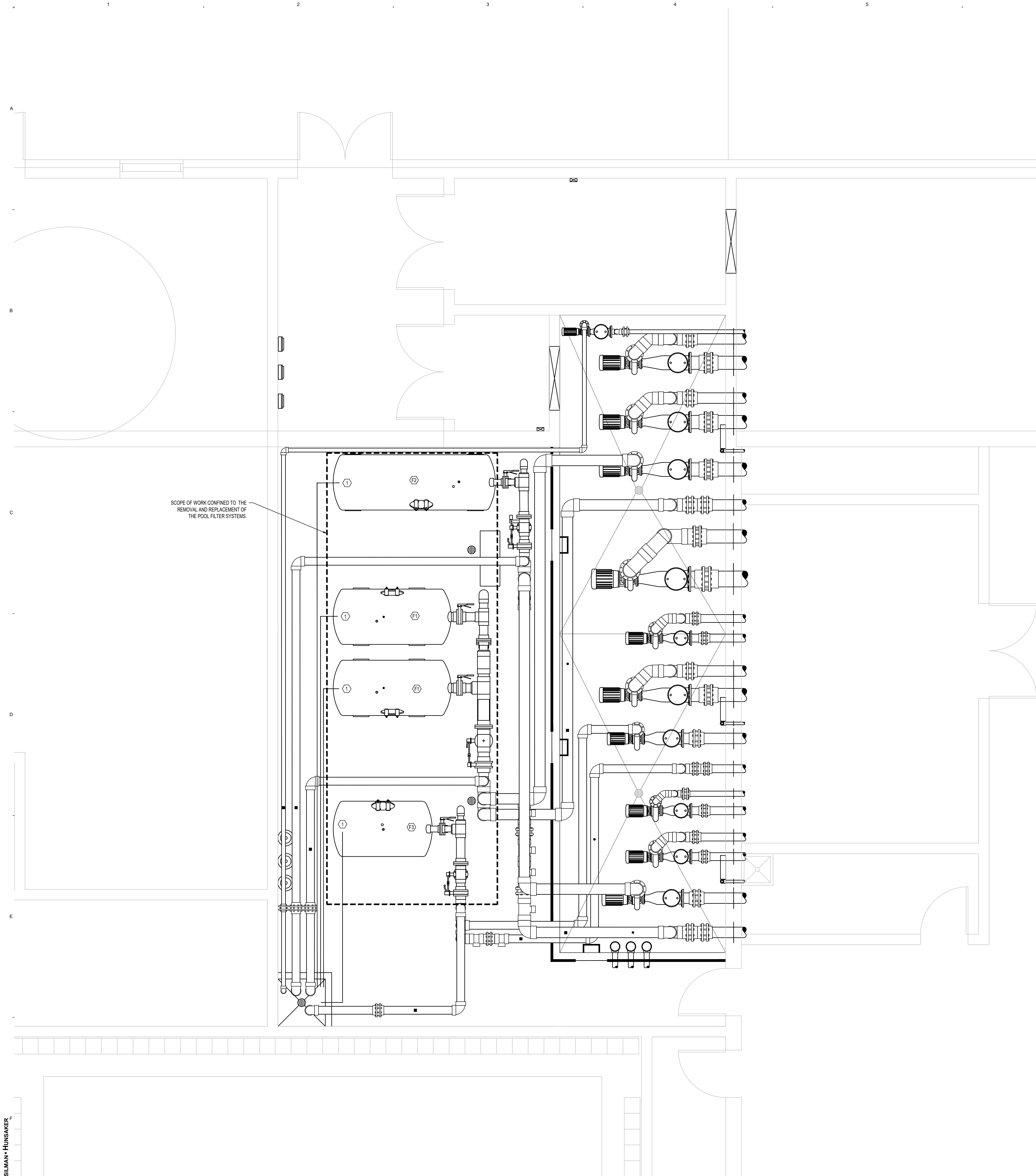
COUNSELMAN-HUNSAKER
AQUATICS FOR LIFE
ph: 314.594.1245 • www.chh2b.com



Description	Revisions	
	Date	Num

Comm: 247085
Date: 2/13/2025
Drawn: NCL
Check: JJN

POOL DETAILS



SCOPE OF WORK CONFINED TO THE REMOVAL AND REPLACEMENT OF THE POOL FILTER SYSTEMS.

GENERAL POOL MECHANICAL ROOM NOTES	
1.	EQUIPMENT ROOM FLOOR AND PUMP PIT FLOOR SHALL SLOPE 1/4" TO 1/2" PER FOOT TO FLOOR DRAINS OR SUMP PIT. REFER TO PLUMBING.
2.	THE FOLLOWING INFORMATION SHALL BE LAMINATED AND POSTED IN THE POOL MECHANICAL ROOM: BACKWASH PROCEDURE, POOL FILLING & DRAINING, VALVE REFERENCE CHART, POOL MECHANICAL ROOM PLAN, POOL PIPING SCHEMATICS & POOL SYSTEMS SCHEMATICS.
PIPING	
1.	MINIMUM 7'-0" CLEARANCE BENEATH ALL OVERHEAD PIPING.
2.	PROVIDE AND SUPPORT OVERHEAD AND VERTICAL PIPING PER SPECIFICATION REQUIREMENTS.
3.	LABEL AND IDENTIFY ALL PIPING IN COMPLIANCE WITH THE SPECIFICATIONS.

FILTER SCHEDULE											
ID	POOL	MANUFACTURER	FILTER MODEL	QTY.	FILTRATION TYPE	MAXIMUM FILTRATION RATE (GPM/SQ. FT.)	DESIGN FILTRATION RATE (GPM/SQ. FT.)	REQUIRED FILTRATION AREA (SQ. FT.)	DESIGN FILTRATION AREA (SQ. FT.)	FILTER BACKWASH RATE (GPM/SQ. FT.)	BACKWASH FLOW RATE PER FILTER (GPM)
F1	LEISURE	NEPTUNE BENSON	SHFFG 42-72	4	HRS	13.0	12.7	93.7	95.6	15.0	359
F2	COMPETITION	NEPTUNE BENSON	SHFFG 42-108	2	HRS	13.0	11.8	65.1	69.2	15.0	519
F3	THERAPY	NEPTUNE BENSON	SHFFG 42-60	2	HRS	13.0	12.1	37.9	40.8	15.0	306

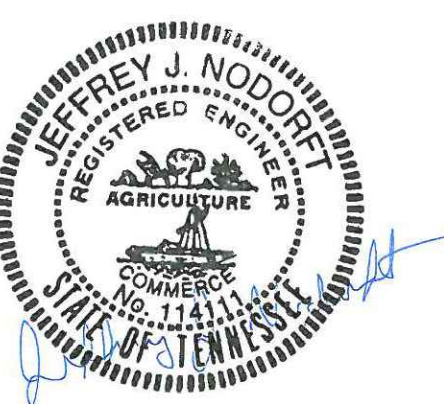
NOTE

- BACKWASH METHOD MUST BE MANUAL.
- ALL FILTER SUPPORTS MUST BE SEISMICALLY RATED FOR THE SEISMIC ZONE IN WHICH IT IS INSTALLED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS.
- FILTER MANUFACTURER MUST CERTIFY FILTER MEDIA.
- THE BACKWASH PIPING MUST TERMINATE NO CLOSER THAN 6" ABOVE THE FLOOD RIM OF THE BACKWASH CATCH BASIN OR TWICE THE PIPE DIAMETER, WHICHEVER IS GREATER.
- FILTER TANK ASSEMBLIES MUST BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL FOR A MAXIMUM FLOW RATE 20 GPM PER SQUARE FOOT OF FILTER MEDIA.
- THE BACKWASH THROTTLING VALVE(S) HANDLE MUST BE REMOVED AND TURNED OVER TO THE OWNER ONCE THE BACKWASH FLOW RATE(S) HAVE BEEN TESTED, ADJUSTED AND BALANCED.
- PROVIDE 1" DIAMETER, SCHEDULE 80 PIPE FROM THE AUTOMATIC AIR VENT ON EACH OF THE FILTER VESSEL TO THE NEAREST FLOOR DRAIN OR BACKWASH CATCH BASIN. THE VENT PIPE MUST BE SLOPED TO THE DRAIN.
- VALVES MUST BE PROVIDED TO BACKWASH EACH FILTER VESSEL INDEPENDENTLY.
- VESSEL MUST BE BACKWASHED AT NO LESS THAN 15.0 GPM/SF.

EQUIPMENT SCHEDULE	
ID	ITEM
1	HARD PIPE TO DRAIN

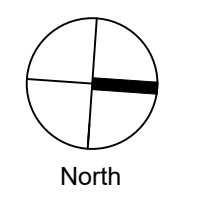


WOLD ARCHITECTS AND ENGINEERS
214 Centerville Drive Suite 300
Brentwood, Tennessee 37027
woldae.com | 615 370 8500



Description	Revisions	
	Date	Num

Comm: 247085
Date: 2/13/2025
Drawn: NCJ
Check: JUN

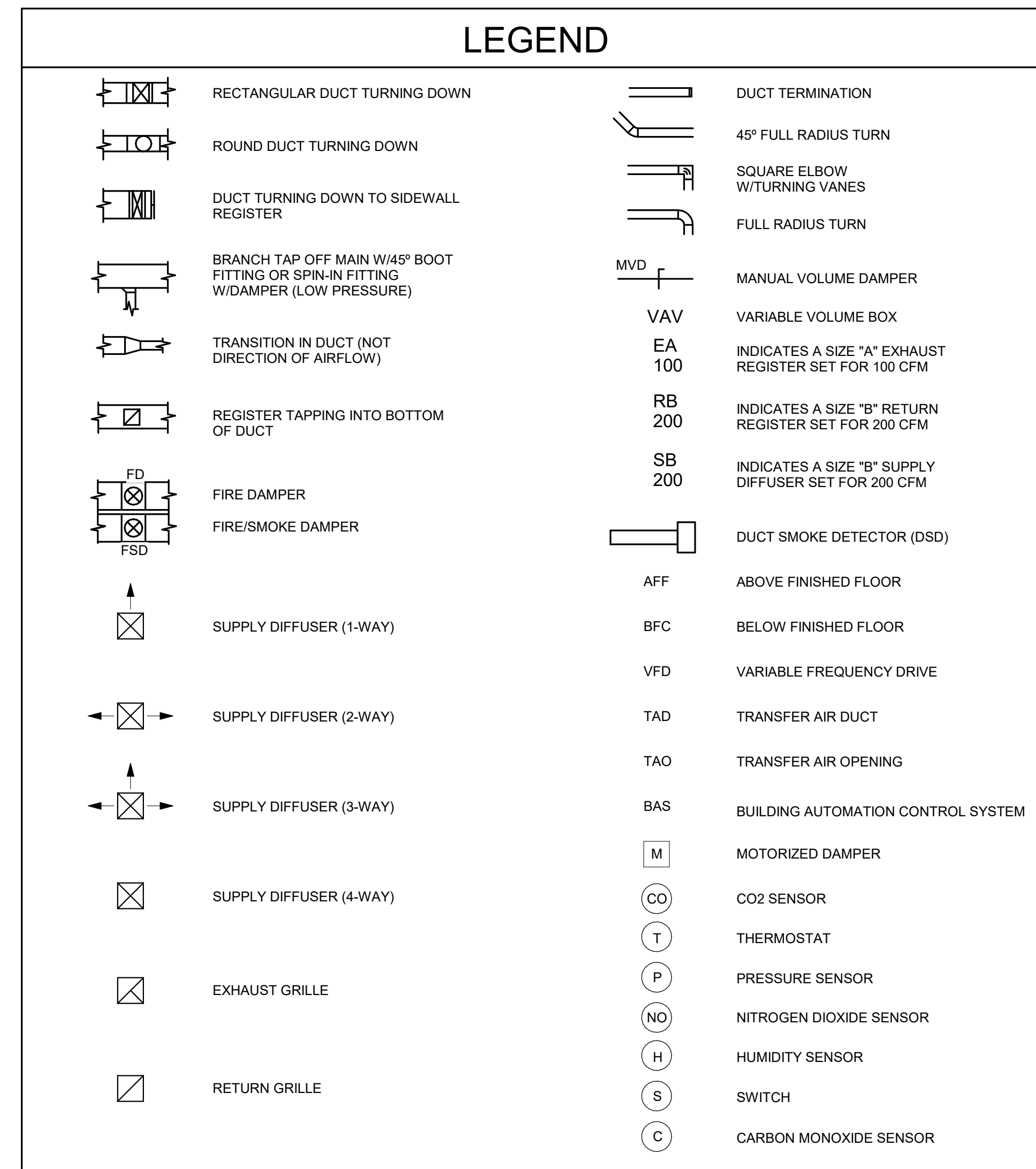
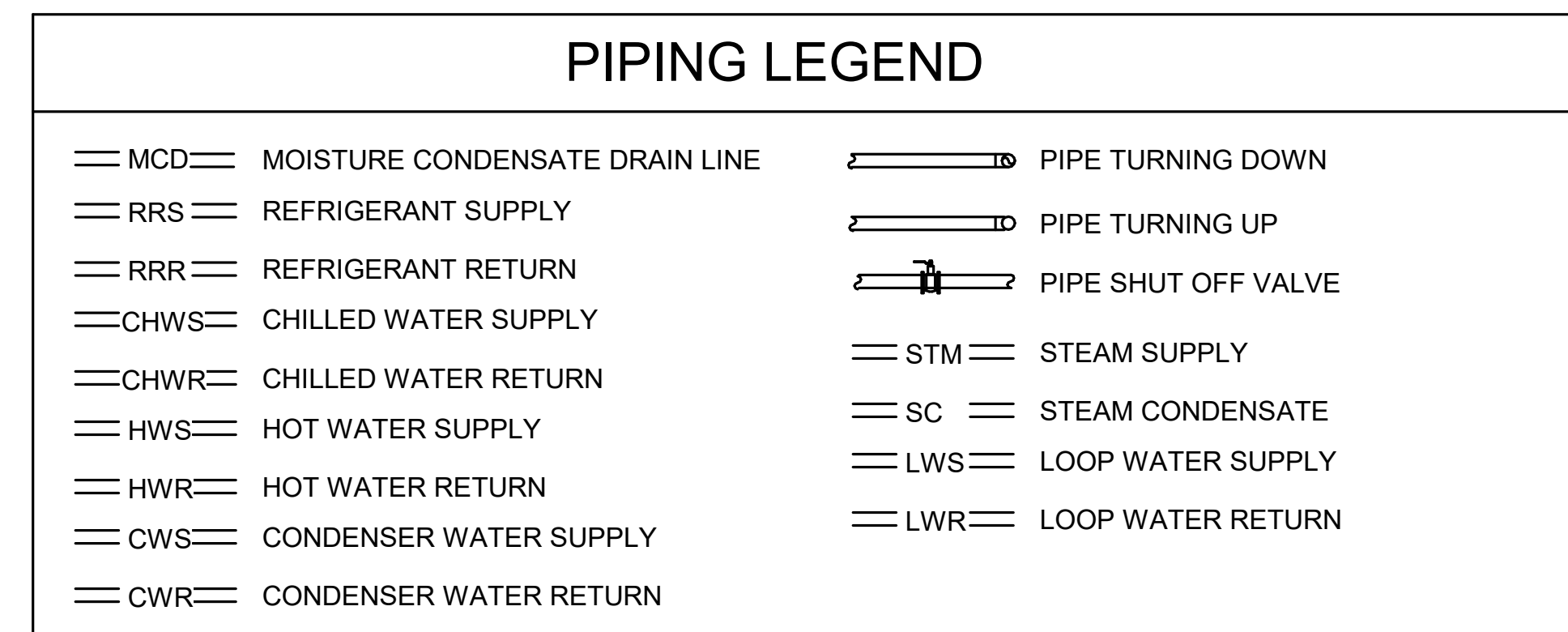
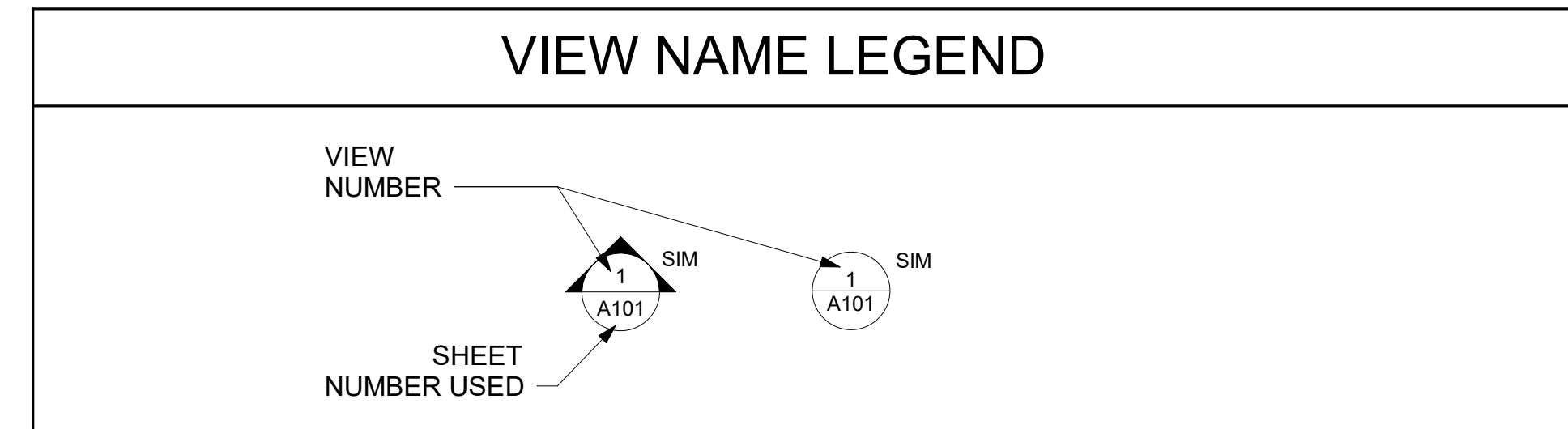


POOL EQUIPMENT ROOM PLAN

1
AQ2.00
POOL EQUIPMENT ROOM PLAN
3/8" = 1'-0"

MECHANICAL GENERAL NOTES:

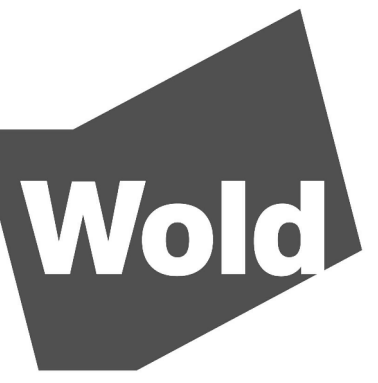
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE OPERATIONAL COOLING AND HEATING SYSTEM IN ACCORDANCE WITH THE DESIGN DRAWINGS.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL MECHANICAL CODE, NFPA REQUIREMENTS, AND ALL LOCAL CODES.
3. CONTRACTOR SHALL FIELD VERIFY BY MEASUREMENT THE EXACT LOCATION OF EQUIPMENT, DUCTWORK, PIPING, STRUCTURE, AND OTHER CONDITIONS WHICH WILL AFFECT INSTALLATION. CONTRACTOR SHALL LOCATE EQUIPMENT AND ROUTE DUCTWORK AND PIPING TO AVOID CONFLICTS AND INTERFERENCES WITH EXISTING CONDITIONS.
4. COORDINATE DUCT, PIPING, AND EQUIPMENT LOCATIONS WITH ELECTRICAL ROOMS, ELEVATOR EQUIPMENT ROOMS, AND ALL ELECTRICAL PANEL LOCATIONS. DO NOT PASS ANY MECHANICAL PIPING, PLUMBING PIPING, DUCTWORK, OR CONDENSATE PRODUCING EQUIPMENT DIRECTLY OVER ELECTRICAL PANELS, ELECTRICAL EQUIPMENT, ELEVATOR EQUIPMENT, CONTROLS, OR TELECOMMUNICATIONS EQUIPMENT. SEE ELECTRICAL AND TELECOMMUNICATION DRAWINGS FOR EXACT EQUIPMENT LOCATIONS.
5. ALL CUTTING AND PATCHING SHALL BE COORDINATED. ALL PATCHING SHALL RESTORE EACH DAMAGED SURFACE TO ITS ORIGINAL FINISH.
6. ALL EXPOSED DUCTWORK, PIPING, CONDUIT AND EQUIPMENT IN FINISHED SPACES TO BE INSTALLED AS HIGH AS POSSIBLE ABOVE FINISHED FLOOR AND SHALL BE PREPARED WITH PAINT GRIP SUITABLE FOR PAINTING, COLOR TO BE CHOSEN BY ARCHITECT. EXPOSED DUCTWORK SHALL BE DOUBLE WALL OR INTERNALLY INSULATED.
7. FIRESTOP/DRAFTSTOP ALL DUCT AND PIPING PENETRATIONS OF ALL RATED WALLS & SMOKE PARTITIONS.
8. ALL WIRING SHALL BE RECESSED, WIRE MOLD OR CONDUIT EXPOSED ON WALL IS NOT ACCEPTABLE EXCEPT IN MECHANICAL ROOMS.
9. CONTRACTOR SHALL SEAL ALL OPENINGS IN NON-RATED WALLS THAT GO TO DECK TO REDUCE SOUND TRANSFER.



MANCHESTER RECREATION CENTER PHASE 1A RENOVATIONS

557 N WOODLAND ST
MANCHESTER, TN 37355

CITY OF MANCHESTER



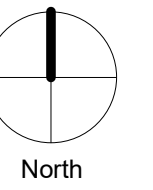
WOLD ARCHITECTS AND ENGINEERS

214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
woldae.com | 615 370 8500



Description	Revisions		Num
	Date		

Comm: 247085
Date: 02-13-2025
Drawn: Author
Check: Checker



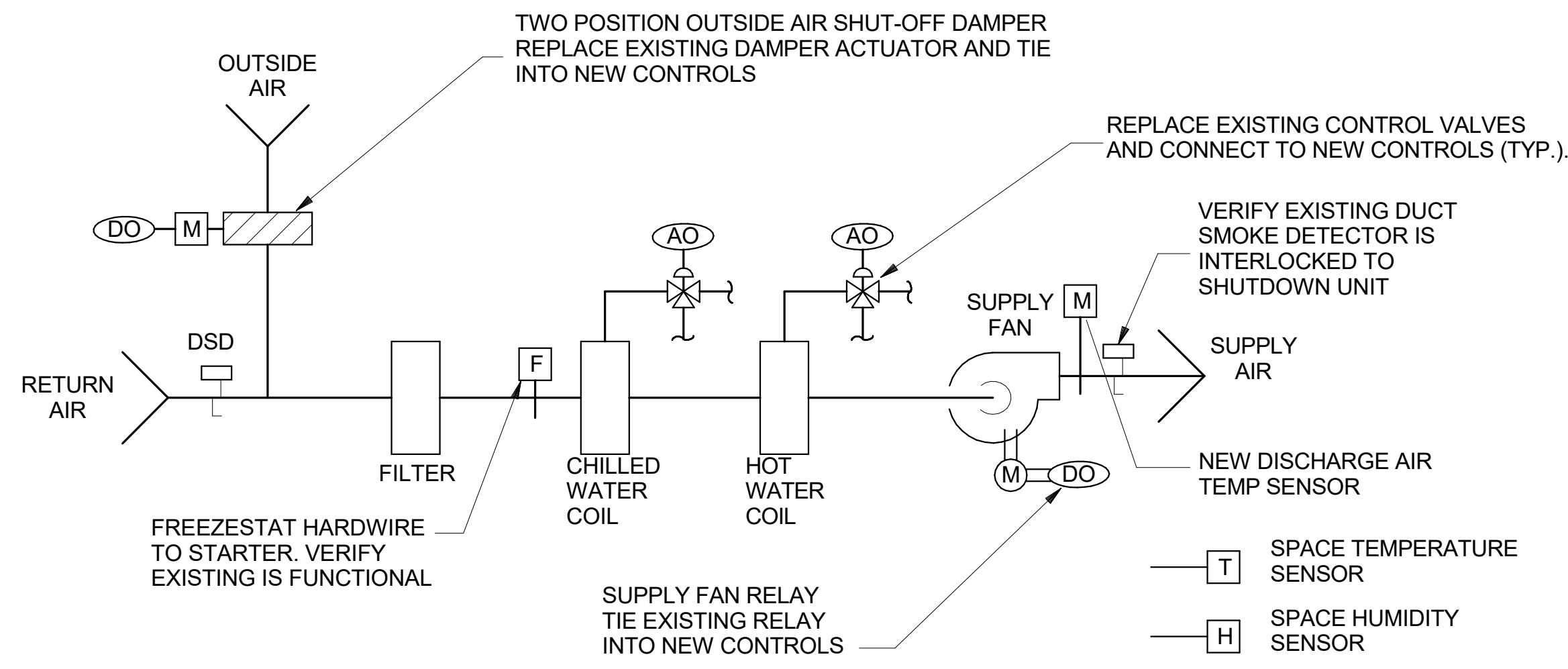
HVAC - GENERAL NOTES & LEGENDS

Scale: 1/8" = 1'-0"

M0.00



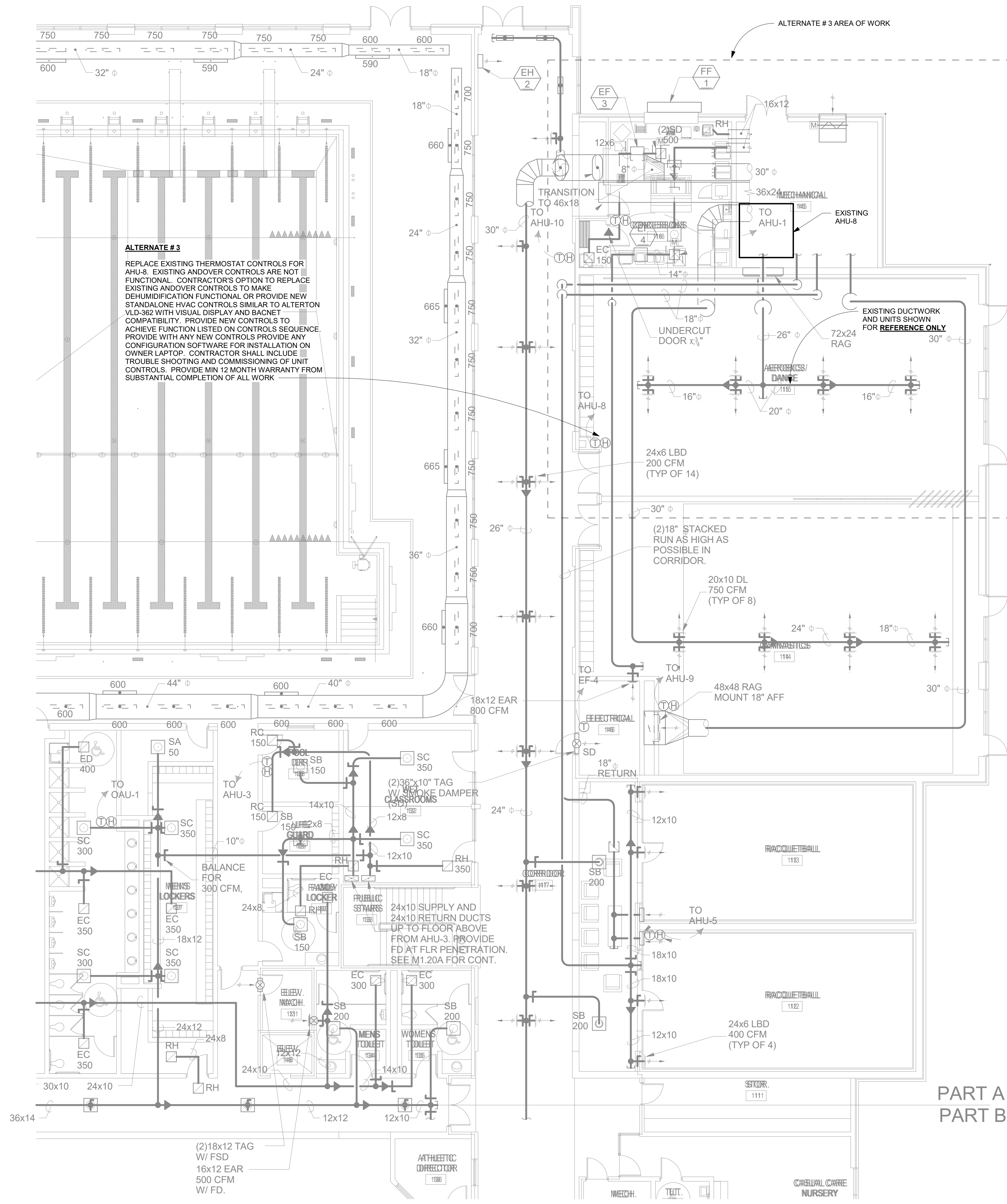
WOLD ARCHITECTS AND ENGINEERS
214 Centerville Drive Suite 300
Brentwood, Tennessee 37027
woldae.com | 615 370 8500



AHU-8 CONTROL DIAGRAM

SEQUENCE OF CONTROL BLOWER COIL UNITS AHU-8

- A. START/STOP UNITS PER USER DEFINED OCCUPIED SCHEDULE.
- B. IN THE OCCUPIED MODE, THE FAN SHALL RUN CONTINUOUSLY. IN THE UNOCCUPIED MODE, THE FAN SHALL CYCLE AS REQUIRED TO MAINTAIN SPACE SETPOINT. THE ZONE TEMPERATURE WILL BE MONITORED AND COMPARED TO THE NIGHT NIGHT SETBACK SETPOINT. UPON A RISE IN TEMPERATURE ABOVE THE NIGHT HIGH-LIMIT SETPOINT (80 DEGREES, ADJUSTABLE) OR THE NIGHT LOW-LIMIT SETPOINT (65 DEGREES, ADJUSTABLE), THE FAN WILL BE STARTED AND REMAIN ON UNTIL THE DIFFERENTIAL IS SATISFIED. ON/OFF OSA DAMPER SHALL BE OPEN IN THE OCCUPIED MODE AND CLOSED IN THE NIGHT SETBACK MODE. ON NORMAL START UP OSA DAMPER SHALL NOT OPEN UNTIL SPACE SETPOINT IS SATISFIED.
- C. ON A RISE IN ZONE TEMPERATURE ABOVE THE COOLING SETPOINT (72 DEGREES ADJUSTABLE), THE BAS WILL MODULATE OPEN THE COOLING VALVE. ON A FALL IN ZONE TEMPERATURE BELOW THE COOLING SETPOINT, THE REVERSE WILL OCCUR.
- D. ON A DROP IN ZONE TEMPERATURE BELOW THE HEATING SETPOINT (70 DEGREES ADJUSTABLE), THE BAS WILL MODULATE OPEN THE HEATING VALVE. ON A RISE IN ZONE TEMPERATURE ABOVE THE HEATING SETPOINT, THE REVERSE WILL OCCUR.
- E. ON A RISE ABOVE HUMIDITY SETPOINT(60% RH, ADJUSTABLE) THE BAS SHALL MODULATE COOLING VALVE TO FULL OPEN POSITION AND MODULATE HEATING VALVE TO MAINTIAN SPACE SETPOINT AS REQUIRED.
- F. OSA: OUTSIDE AIR SHUT-OFF DAMPER SHALL BE OPEN DURING ALL OCCUPIED HOURS PER (B) ABOVE AND CLOSED DURING ALL UNOCCUPIED HOURS.
- G. WHEN OCCUPANCY OVERRIDE BUTTON IS PRESSED AT ZONE TEMPERATURE SENSOR UNIT SHALL GO INTO OCCUPIED MODE FOR 2 HOURS (ADJUSTABLE).
- H. PROVIDE DISCHARGE AIR TEMP SENSOR.



HVAC - FIRST FLOOR PLAN - PART A
1/8" = 1'-0"

NOTES:
1. EXISTING TO AHU TO REMAIN. REPLACE EXISTING TEMPERATURE SENSORS AND CONTROL VALVES TO ACHIEVE REQUIRED CONTROLS.

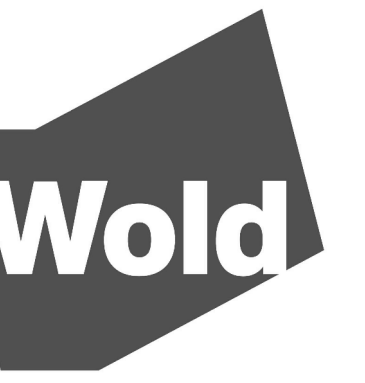
Description	Revisions		Num
	Date		

Comm: 247085
Date: 02-13-2025
Drawn: Author
Check: Checker
North

HVAC - FIRST FLOOR PLAN - PART A

Scale: 1/8" = 1'-0"

M1.10A



WOLD ARCHITECTS AND ENGINEERS

214 Centerview Drive Suite 300
Brentwood, Tennessee 37027
wolda.com | 615 370 8500



Lighting Fixture Schedule					
Type	Manufacturer	Model	Lamp	Mount	Description
'OC'	AAL	K41(EX)64T34000K	64W LED	POLE	REPLACE EXISTING HEAD

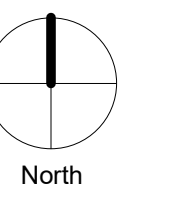
ELECTRICAL NOTES:

- EXISTING DECORATIVE POLE HEAD TO BE REPLACED WITH NEW TYPE 'OC'.
- EXISTING POLE HEAD ALREADY REPLACED, NO WORK.
- PROVIDE NEW 12 POLE TO MATCH EXISTING AND NEW TYPE 'OC' HEAD AT THIS LOCATION.
- EXISTING POOL UNDERWATER LIGHTING THAT IS CURRENTLY NOT FUNCTIONING. CONTRACTOR TO PERFORM CONTINUITY TESTING FROM PANEL TO DECK JUNCTION BOX AND INSULATION RESISTANCE TESTING FROM PANEL TO WALL JUNCTION BOXES AND FOR GROUNDING CONDUCTOR TO WET NICHE FORMING SHELL TO WALL JUNCTION BOX. CONTRACTOR TO PROVIDE NEW LED UNDERWATER LIGHTS WITH WIRE LENGTHS APPROPRIATE BACK TO DECK WALL BOXES. (TOTAL OF 16 FIXTURES). CIRCUIT INDICATED IS FROM ORIGINAL CONSTRUCTION RECORD DRAWINGS. FIELD VERIFY. CONTRACTOR SHALL INCLUDE 800' OF # 8 WIRE REPLACEMENT IN BASE BID. PROVIDE UNIT PRICE FOR WIRE REPLACEMENT.



Description	Revisions	
	Date	Num

Comm: 247085
 Date: 02-12-2025
 Drawn: Author
 Check: Checker



ELECTRICAL - SITE PLAN

ELECTRICAL - SITE PLAN
1" = 60'-0"

Scale: 1" = 60'-0"